

5.0 Frontage Standards

5.10 Purpose

This Section establishes the allowed frontage types for each zone within the Downtown Code boundaries. Frontage types provide the standards for how buildings individually shape the streetscape, including the framing of views of surrounding hillsides.

5.20 Allowed Frontages and Standards

Table 5.5 identifies the allowed frontage types and requirements within each zone applied to parcels in Figure 5.2.1. All buildings and sites subject to this code shall be designed, built and maintained per the applicable requirements of Table 5.5.

5.30 Small Town-Scale Frontage and Intended Physical Character

Property and rights-of-way subject to the Downtown Code are intended to generate and support the small town-scale and physical character intended by the Downtown Specific Plan as described below:

A. Design Objectives. Frontages shall be designed and maintained to:

1. Support the intended physical environment of the zone;
2. Support active and continuous pedestrian-oriented environments, per each zone;
3. Provide a physical transition between the public right-of-way and each building site that shapes the public realm per the intended physical environment of the zone; and
4. Express creativity in frontage design per the requirements of Section 5.0.

B. Intended Physical Character. Each of the zones in the Downtown Code is for the purpose of generating distinct environments as described in Section 2.0 that when connected to one another along streetscapes, generate the cohesive small town-scale character envisioned by the community. The intended physical character as it relates to streetscapes and frontages is described below for each zone:

1. **Downtown Core Zone.** Streetscapes in the DTC

zone are pedestrian-oriented and are to support high pedestrian activity for the widest variety of entertainment, commercial, office, and civic activity in Downtown. Housing is mixed with other activities and is not prominent along ground floors of buildings. Along Front Street, frontages range from permanent shade property-frontages such as one and two-story galleries, shopfronts with wide awnings to forecourts, and door yards. On side streets, all of the above frontage types are allowed as well as door yards, walled yards, stoops and porches that transition to less intense environments. Wide sidewalks accommodate outdoor dining while providing for comfortable strolling and easy view of retail merchandise. Open Spaces are urban and provide community gathering space in support of high pedestrian activity and civic events.

2. **Downtown Edge Zone.** Streetscapes in the DTE zone are pedestrian-oriented and are to support pedestrian activity for a wide variety of commercial, office, civic and residential activity. Frontages range from permanent shade property-frontages such as one-story galleries and shopfronts with wide awnings to forecourts, door yards, walled yards, stoops, porches, front yards and parking courts. Wide sidewalks accommodate outdoor dining while providing for comfortable strolling. Open Spaces are urban along and near Front Street and more suburban and in support of neighborhood activity away from Front Street.
3. **Monterey Street Zone.** Streetscapes in the MS zone are pedestrian-oriented and are to support pedestrian activity within a neighborhood context. Frontages are primarily residential and range from front yards, porches, stoops to walled yards, door yards, and forecourts. Where neighborhood retail or services are allowed, one-story galleries as well as shopfronts with wide awnings are appropriate. Shaded sidewalks provide pleasant streetscapes while accommodating outdoor dining in appropriate mixed-use areas.
4. **Railroad Corridor Zone.** Streetscapes in the RR zone are pedestrian-oriented and are to support pedestrian activity within a combination of non-residential and residential environments. Frontages range from permanent shade property-frontages such as one and two-story galleries, and shopfronts with wide awnings to forecourts, walled yards, stoops, porches

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and parking courts. Shaded sidewalks accommodate appropriate outdoor dining while providing for comfortable strolling and easy view of retail merchandise.

5. **Gateway Zone.** Streetscapes in the GW zone are pedestrian-oriented and in support of pedestrian activity within an environment that supports convenience and access from freeway motorists. Frontages are a combination of a portion of the building near or at the sidewalk and the other portion of the building setback behind a parking lot. Frontages range from permanent shade property-frontages such as one-story galleries and shopfronts with wide awnings to forecourts and parking courts. In some areas, less intense frontages such as stoops, porches and front yards are appropriate for non-residential activity. Wide sidewalks accommodate appropriate outdoor dining while providing for comfortable strolling and view of retail merchandise.

5.40 Required Criteria

- A. In order for applications to be approved, the application shall meet the following criteria, as applicable.
 1. Generates or maintains the pedestrian-oriented streetscape(s) envisioned in the Downtown Specific Plan through the appropriate design of frontages;
 2. Generates or maintains an active and continuous streetscape along all required frontages to support the intended pedestrian environment;
 3. Generates or maintains an appropriate transition from the public streetscape to the building and its site;
 4. Complies with the requirements of the applicable frontage type(s);
 5. Complies with the general standards in Section 9.20; and
 6. Expresses creativity in designing frontages per the allowed frontage types identified in Table 5.5.
1. The applicant shall provide the following information to the Director:
 - a. A written statement identifying that the proposed type is not similar to any of the allowed types in Table 5.5; and
 - b. A diagram showing the proposed type in plan and section to identify the configuration and key elements;
 - c. At least three examples of the proposed type in its intended physical context.
 2. The Director shall first review the application to confirm whether or not the proposed type is similar to any of the allowed types in Table 5.5. If not similar to an allowed type, the application shall continue to be processed.
 3. The Architectural Review Committee shall review the application and provide a recommendation to the Director. The Director shall present the recommendation to the Planning Commission for its review and action.
 4. The Planning Commission shall review the application and the Architectural Review Committee's recommendation in order to make a recommendation for final action to the City Council.
 5. The City Council shall review the Planning Commission's recommendation and take final action on the application. If the application is approved, the necessary amendments to the Code shall be made.

5.50 Addition of Frontage Type

- A. Applications that propose to add a frontage type to the Downtown Code shall comply with the following requirements.

5.60 Requirements by Zone

In support of the purpose and intended physical environment for each zone, Table 5.5 identifies the allowed frontage types in each zone. All land use and development activity shall comply with the applicable requirements of Table 5.5.

1. **Requirement for Frontage.** All sites and buildings subject to the Downtown Code are required to comply with the requirements for frontage types in Section 5.0.
2. **Urban Types.** These are frontage types with the general purpose of supporting or generating streetscapes aimed primarily at non-residential environments.
3. **Sub-Urban Types.** These are frontage types with the general purpose of supporting or generating streetscapes aimed primarily at residential environments.
4. **Multiple Types.** As allowed by Section 5.0, a site or building may utilize multiple frontage types subject to compliance with the applicable requirements and City review and approval.

TABLE 5.5. ALLOWED FRONTAGE TYPES



NOTES FOR TABLE 5.5	
SEE TABLE 5.5C	Type allowed in zone, see reference for requirements
blank	Type not allowed in zone

ALLOWED TYPES	DT CORE (DTC)	
	FRONT STREET	ALL OTHER STREETS
URBAN TYPES	FRONT STREET	ALL OTHER STREETS
GALLERY (2-STORY)	SEE TABLE 5.5A	SEE TABLE 5.5A
GALLERY (1-STORY)	SEE TABLE 5.5B	SEE TABLE 5.5B
SHOPFRONT	SEE TABLE 5.5C	SEE TABLE 5.5C
FORECOURT	SEE TABLE 5.5D	SEE TABLE 5.5D
DOOR YARD		SEE TABLE 5.5E
WALLED YARD		SEE TABLE 5.5F
SUB-URBAN TYPES	FRONT STREET	ALL OTHER STREETS
STOOP		SEE TABLE 5.5G
PORCH		SEE TABLE 5.5H
FRONT YARD		
PARKING COURT		SEE TABLE 5.5J

TABLE 5.5. ALLOWED FRONTAGE TYPES



ZONES

DT EDGE (DTE)		MONTEREY STREET (MS)		RAILROAD CORRIDOR (RR)	GATEWAY (GW)
FRONT STREET	ALL OTHER STREETS	MONTEREY STREET	ALL OTHER STREETS	REQUIREMENTS	REQUIREMENTS
SEE TABLE 5.5B	SEE TABLE 5.5B	SEE TABLE 5.5B	SEE TABLE 5.5B	SEE TABLE 5.5A	SEE TABLE 5.5B
SEE TABLE 5.5C	SEE TABLE 5.5C	SEE TABLE 5.5C	SEE TABLE 5.5C	SEE TABLE 5.5B	SEE TABLE 5.5C
SEE TABLE 5.5D	SEE TABLE 5.5D	SEE TABLE 5.5D	SEE TABLE 5.5D	SEE TABLE 5.5C	SEE TABLE 5.5D
SEE TABLE 5.5E	SEE TABLE 5.5E	SEE TABLE 5.5E	SEE TABLE 5.5E	SEE TABLE 5.5D	SEE TABLE 5.5E
SEE TABLE 5.5F	SEE TABLE 5.5F		SEE TABLE 5.5F	SEE TABLE 5.5E	SEE TABLE 5.5F
FRONT STREET	ALL OTHER STREETS	MONTEREY STREET	ALL OTHER STREETS	REQUIREMENTS	REQUIREMENTS
SEE TABLE 5.5G	SEE TABLE 5.5G	SEE TABLE 5.5G	SEE TABLE 5.5G	SEE TABLE 5.5A	SEE TABLE 5.5B
SEE TABLE 5.5H	SEE TABLE 5.5H	SEE TABLE 5.5H	SEE TABLE 5.5H	SEE TABLE 5.5B	SEE TABLE 5.5C
SEE TABLE 5.5I	SEE TABLE 5.5I	SEE TABLE 5.5I	SEE TABLE 5.5I	SEE TABLE 5.5C	SEE TABLE 5.5D
SEE TABLE 5.5J	SEE TABLE 5.5J		SEE TABLE 5.5J	SEE TABLE 5.5D	SEE TABLE 5.5E
				SEE TABLE 5.5E	SEE TABLE 5.5F
				SEE TABLE 5.5F	SEE TABLE 5.5G
				SEE TABLE 5.5G	SEE TABLE 5.5H
				SEE TABLE 5.5H	SEE TABLE 5.5I
				SEE TABLE 5.5I	SEE TABLE 5.5J
				SEE TABLE 5.5J	

TABLE 5.5A. GALLERY (2-STORY) FRONTAGE STANDARDS

A. Description

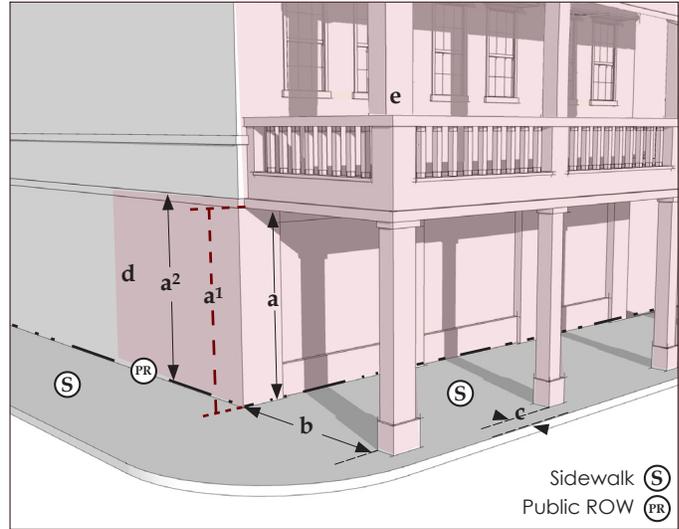
The two-story gallery frontage consists of the building facade being aligned on the front property line, and including an attached two-story cantilevered shed or a roof or deck supported by a colonnade overlapping the sidewalk. The upper portion of the Gallery may be used for open loggias or decks. Railing on top of the gallery is only required if the gallery roof is accessible as a deck. Galleries contain ground-floor storefronts, making them ideal for retail use.

Landscaping may be located at the gallery columns and if present, shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

Signage is located within the storefront and / or hanging from the gallery ceiling, per the requirements of Section 6.0.

B. Design Standards

1. Galleries shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Galleries shall be large enough in dimension to allow passage along the sidewalk without impediments horizontally and vertically. The upper level may be roofed or open. When roofed, the materials, style and design shall be consistent with the building.
3. Galleries shall be combined with the Shopfront type (Table 5.5C).
4. Galleries may encroach over the sidewalk in the public right-of-way, subject to the issuance of an encroachment permit or license agreement prior to issuance of a building permit.
5. Column height shall be four to five times the column width. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
6. Columns shall be placed in relation to curbs to allow passage around and for passengers of cars to disembark.
7. Along Front Street, walls without openings shall not exceed 10 linear feet.



2-Story Gallery diagram - storefront, columns, and shed/roof deck comprise the Gallery.

GALLERY 2-STORY STANDARDS	GALLERY		STOREFRONT
	MIN.	MAX.	MIN.
a Height of 1st level from sw grade to clg	12'	16'	12'
a ¹ see Table 5.5C Shopfront type for standards			
a ² Height of 2nd level from sidewalk grade	12'	16'	n/a
b Depth (facade to interior column face)	8'	16'	n/a
c Depth (exterior column face to curb)	2'	4'	n/a
d Storefront on secondary frontage	n/a		25'
e Roof deck railing (min. 36" tall, max. 48" tall)			

Example of Intended Physical Character



Gallery Example - a 2 story version with colonnade and roof on both levels which shades both the sidewalk and storefront display windows.

TABLE 5.5B. GALLERY (1-STORY) FRONTAGE STANDARDS

A. Description

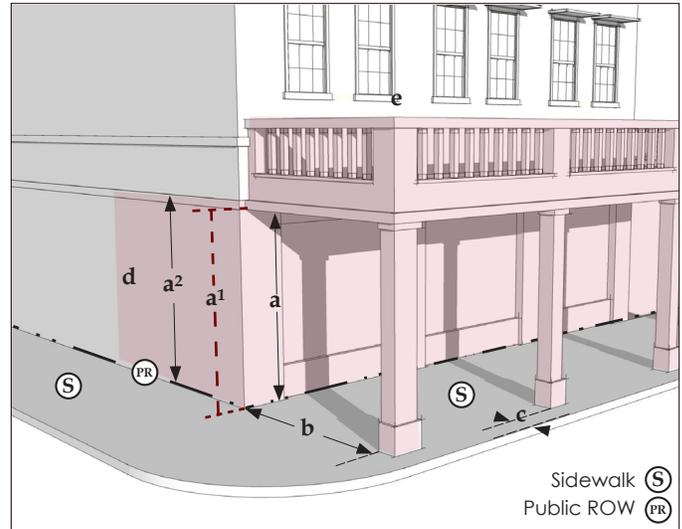
The one-story gallery frontage consists of the building facade being aligned on the front property line, and including an attached cantilevered shed or a roof or deck supported by a colonnade overlapping the sidewalk. Galleries contain ground floor storefronts, making them ideal for retail use. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.

Landscaping may be located at the gallery columns and if present, shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

Signage is located within the storefront and / or hanging from the gallery ceiling, per the requirements of Section 6.0 .

B. Design Standards

1. Galleries shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Galleries shall be large enough in dimension to allow passage along the sidewalk without impediments horizontally and vertically.
3. Galleries may be roofed. When roofed, the materials, style and design shall be consistent with the building.
4. Galleries shall be combined with the Shopfront type (Table 5.5C).
5. Galleries may encroach over the sidewalk in the public right-of-way, subject to the issuance of an encroachment permit or license agreement prior to issuance of a building permit.
6. Column height shall be four to five times the column width. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
7. Columns shall be placed in relation to curbs to allow passage around and for passengers of cars to disembark.
8. Along Front Street, walls without openings shall not exceed 10 linear feet.



1-Story Gallery diagram - storefront, columns, and shed/roof deck comprise the Gallery.

GALLERY 1-STORY STANDARDS		GALLERY		STOREFRONT
		MIN.	MAX.	MIN.
a	Height 1st level from sw grade to ceiling	12'	16'	12'
a ¹	see Table 5.5C Storefront & Awning Type for standards			
b	Depth (facade to interior column face)	8'	16'	n/a
c	Depth (exterior column face to curb)	2'	4'	n/a
d	Storefront on secondary frontage		n/a	25'
e	Roof deck railing (Min. 36" tall, Max. 48" tall)			

Example of Intended Physical Character



Gallery Example - a 1 story version with colonnade, roof, and open deck which shades both the sidewalk and storefront display windows.

TABLE 5.5C. SHOPFRONT FRONTAGE STANDARDS

A. Description

Shopfront is the frontage type for buildings with ground floor commercial/retail uses. The frontage is made by insertion of large openings filled with transparent windows at the ground level facades. Depending on the zone, most of all of the facade is located near or at the property line. The building entrance is at the grade of the sidewalk, and provides direct access to the commercial/retail uses on the ground floor.

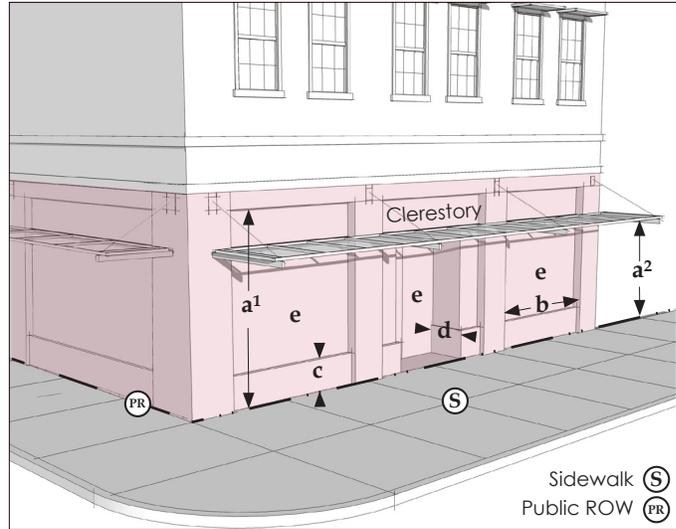
The basic architectural elements comprising the storefront are large windows, doors with glass, clerestory glass, and a solid base (bulkhead). Optional elements include awnings, cantilevered shed roof or canopy, signage, lighting, and cornices. Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within a few feet of the curb.

Landscaping may be provided in vine pockets or planter boxes at the building facade as allowed in the applicable zoning district.

Signage may be located in a variety of places ranging from the storefront and wall to awnings. In addition, signs that project over the sidewalk as well as sidewalk signs occur as allowed per the requirements of Section 6.0.

B. Design Standards

1. Shopfront frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Individual storefronts shall be tall enough to provide adequate view into ground floor spaces.
3. The horizontal area of the facade that is between two feet and 12 feet from the sidewalk shall contain at least 70 percent storefront glass.
4. Storefront glass shall be clear (minimum 88 percent light transmission) without reflective glass frosting or dark tinting.
5. Storefront windows may have clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light, while moderating it such as stained glass, glass block, painted or frosted glass.
6. Storefront bulkhead shall be of material similar or complementary to main materials of the building.
7. Walls without openings shall not exceed 10 linear feet on primary frontages and 25 linear feet on secondary frontages.
8. Awning materials and configurations shall comply with the requirements of Section 9.0.



Shopfront diagram - elements and dimensions combining to make the frontage.

SHOPFRONT STANDARDS	STOREFRONT		AWNING	
	Min.	Max.	Min.	Max.
a ¹ Height (clear)	12'	16'	-	-
a ² Height (clear)	-	-	8'	18'
b Width of storefront bay(s)	8'	20'	-	-
c Height of bulkhead	8"	3'	-	-
d Depth of recessed entry	no min; 10' max for up to 50% of facade			
e Glass area % of ground facade	70	90	n/a	n/a
f Storefront on second frontage	25'	none	-	-

Example of Intended Physical Character



Shopfront Example - large glazing area of display windows, file bulkhead under windows, glass door, clerestory and shade awning.

TABLE 5.5D. FORECOURT FRONTAGE STANDARDS

A. Description

Forecourt frontages consist of open or semi-enclosed areas adjacent to the sidewalk made by setting back a portion of the building facade from the front property line. Typically the setback portion is the middle section, which creates a small entry court. This can also be achieved by setting back the facade when a building's neighboring structures have zero setback at their respective property lines.

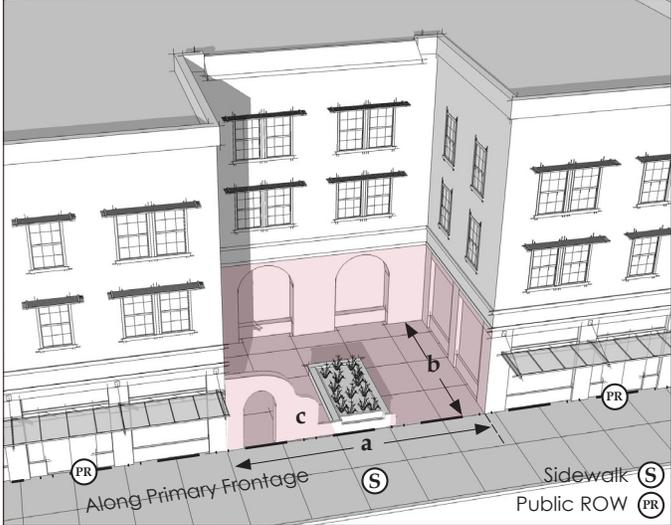
Forecourts may be combined with the following frontage types per the requirements for each type: Gallery 2-story, Gallery 1-story, Shopfront, Door Yard, Walled Yard.

Forecourts may be further defined by low walls or landscape between the sidewalk and adjacent property line. Forecourts may be paved with decorative paving subject to City review and approval or they may be landscaped. Landscape may include lawn, grasses, small shrubs, and accent trees with sufficiently transparent canopies to allow views of the building facade.

Signage is located within storefronts, awnings, walls and within the sidewalk, per the requirements of Section 6.0.

B. Design Standards

1. Forecourt frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Forecourts may be elevated from the adjacent sidewalk by up to four feet. An elevated forecourt shall meet accessibility requirements for access with the building and the sidewalk.
3. When used on hotels and commercial buildings, forecourts shall be combined with the Shopfront type (Table 5.5C).
4. As allowed by the zone, galleries, awnings, shed roofs or canopies may encroach into the forecourt for a cumulative 1/2 of the forecourt width and depth, respectively.
5. Entry to forecourts may be expressed through a decorative wall or low fence with a gateway provided that the wall, fence and gateway are designed as an extension of the immediately adjacent facade.



Forecourt diagram - storefronts combined with an expanded sidewalk that enters the site to generate an open space comprise the frontage.

FORECOURT STANDARDS			
	MIN.	MAX.	
a	Width along primary frontage	15'	1/2 Primary frontage
b	Depth perpendicular to primary frontage	15'	40'
c	Wall	30"	1-story
d	Fence	12"	3'
e	Landscaping	per rqmts in Section 9.0	

Example of Intended Physical Character



Forecourt Example -ground floor storefronts along sidewalk continue into forecourt visually extending the sidewalk and generating gathering space.

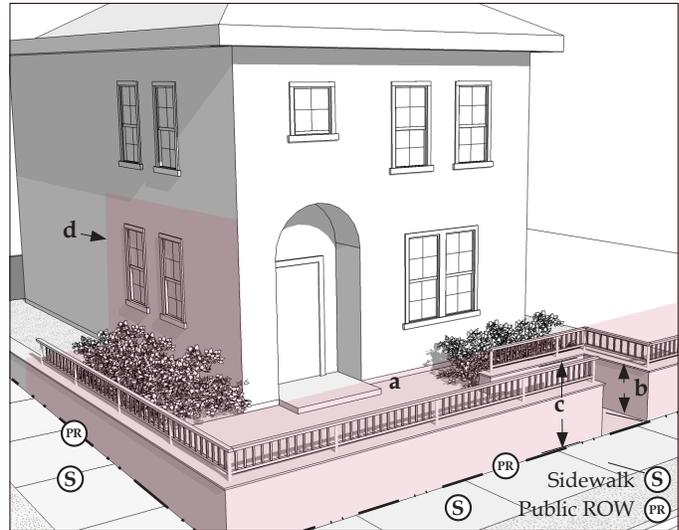
TABLE 5.5E. DOOR YARD FRONTAGE STANDARDS

A. Description

Door Yard frontages consist of setting the primary building facade back from the front property line, and placing an elevated garden or terrace in that setback. Door Yards are enclosed by a low wall at or near the property line with a stair or ramp from the sidewalk up onto the terrace.

The building activities are slightly separated from the adjacent sidewalk by the terrace height, and the depth of the Door Yard provides a buffer. The buffer provides clear area distinctions for commercial uses such as dining patios, and provides secure buffers for private yards and residences from public encroachment.

Signage may be located on the wall, within a storefront, on awnings, projecting from the building and within the front setback, per the requirements of Section 6.0.



Door Yard diagram - raised yard and building accessed by an interior stair/ramp comprise the frontage.

B. Design Standards

1. Door Yard frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Door Yards may be enclosed by decorative low walls or fences. Walled door yards may additionally have fences to provide for safety.
3. The average grade of the door yard shall not be more than four feet higher than the adjacent sidewalk or public open space.
4. Walls and/or fences shall be consistent with the architectural style of the building in their design, materials, and finishes.

DOOR YARD STANDARDS		
	MIN.	MAX.
a Size of Terrace	per min. building setback	
b Height of Door Yard from Sidewalk	2'	4'
c Height of Wall/Fence	3'	5'
d Openings on secondary frontage	1 in 25' beginning at front	

Example of Intended Physical Character



Door Yard Example - A dining area for a restaurant, which is delineated by the terrace height and a small picket fence.

TABLE 5.5F. WALLED YARD FRONTAGE STANDARDS

A. Description

Walled Yard frontages consist of decorative and thematic walls at or near the frontage line for the purpose of enclosing an open space near the frontage or for enclosing service areas along the rear of a building site near a frontage.

Typically, a building or entry associated with this frontage is joined with the wall to visually extend the architecture of the building and to demarcate the property boundary while positively shaping the adjacent streetscape.

Signage, as allowed by the zone, may be located on the wall itself, on the wall or storefront of an associated building or, on the overhead structure of a gate/entry, per the requirements of Section 6.0.

B. Design Standards

1. Walled Yard frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Wall and gate materials, finishes and details shall match those of the primary building on the building site.
3. The wall shall incorporate a decorative top/cap consistent with the architectural style and details of the primary building on the lot.
4. Where a building facade, including accessory buildings, is within 10 feet of the walled yard frontage, the walled yard frontage shall be coplanar with the building facade and be designed as an extension of the building architecture.
5. Integral 'bancas' or other types of approved seating shall be used along this frontage type instead of individual benches. Seating edges shall be finished with anti-skateboard features.
6. Landscaping in decorative containers or planters is allowed for up to 65 percent of the wall length. Decorative containers may encroach up to 24 inches into the sidewalk.



Walled Yard - A substantial and decorative wall reflective of the primary building's architectural style combined with carefully located planters or containers along the streetscape.

WALLED YARD STANDARDS		
	MIN.	MAX.
a Height of Wall	4'	1-story
b Width of Wall	8"	3'
c Width of Entry / Gateway	4'	10'
d Height of Entry / Gateway	8'	12'
e Banca size	24" deep x 5' long	42" deep x 15' long

Example of Intended Physical Character



Walled Yard Example - The walled yard frontage enables open areas along front or side lot lines to be partially enclosed while defining the streetscape in a complementary manner.

TABLE 5.5G. STOOP FRONTAGE STANDARDS

A. Description

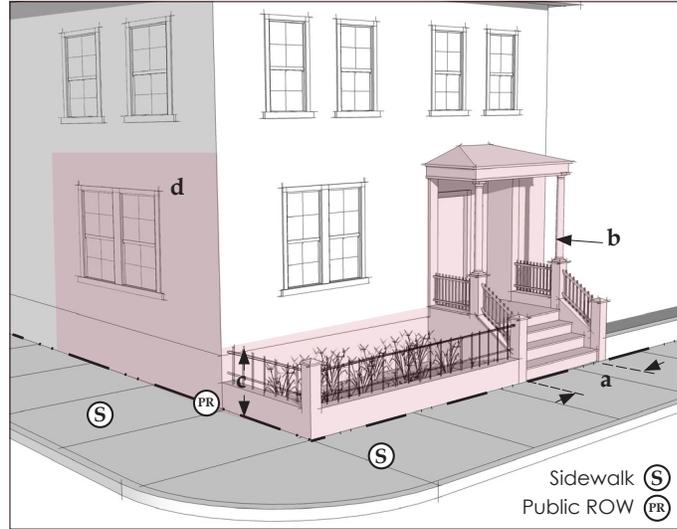
Stoops are exterior stairs with landings which provide access to buildings located near or at their front property lines. The ground floor of the building is raised to provide some privacy for the rooms facing the public street and passersby. This frontage is ideal for ground floor housing that is near the street.

Landscaping typically flanks the stairs in planters or grade or in decorative containers. Demarcating garden walls are allowed subject to the applicable requirements for height and materials.

Signage may be located on the wall, projecting from the building and within the front setback, per the requirements of Section 6.0.

B. Design Standards

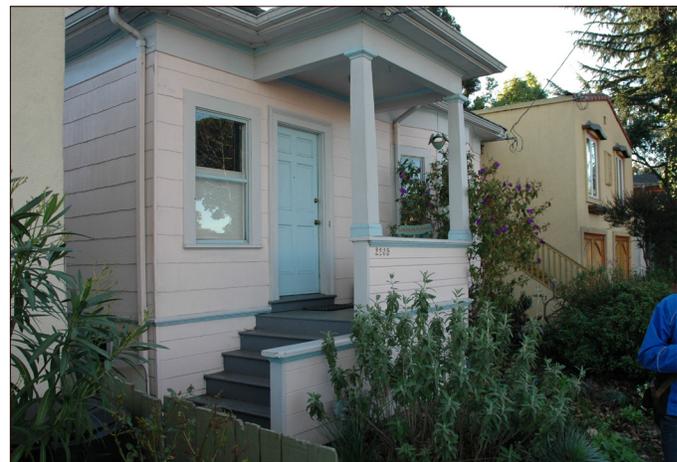
1. Stoop frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Stoops shall be of such dimensions to allow for adequate access to the ground floor of the building.
3. The exterior stairs can be perpendicular or parallel to the adjacent sidewalk. The landing may be covered or uncovered.
4. Landscaping shall be placed on the sides of the stoop at grade or in raised planters.
5. Low walls and/or fences may be located within the front and/or side street setbacks provided that they are in compliance with all applicable requirements and that the materials and design are compatible with the architectural style of the building.



Stoop diagram- raised entry within a small landscaped setback comprises the frontage.

STOOP STANDARDS		
	MIN.	MAX.
a Width	3'	none
b Depth (not including stairs)	3'	10'
c Wall/Fence	12"	4'
d Openings on secondary frontage	1 in 25'	n/a

Example of Intended Physical Character



Stoop Example - stairs, landing, and landscape area.

TABLE 5.5H. PORCH FRONTAGE STANDARDS

A. Description

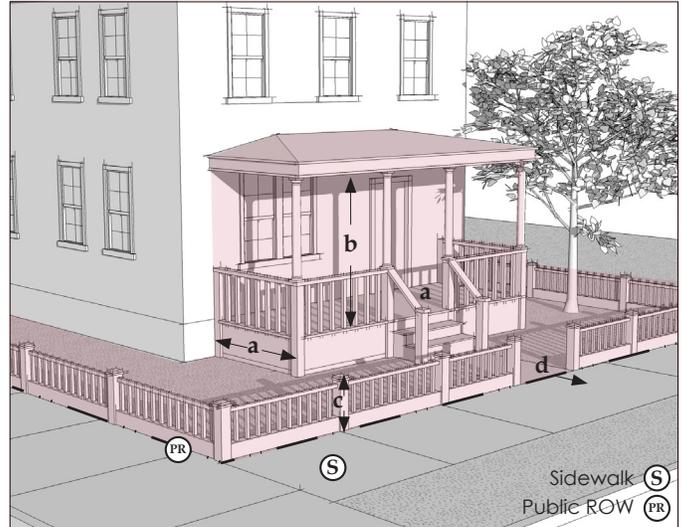
Porches are a frontage that consists of a building with a front set back from the property line, and a porch attached to it, and an optional low fence or wall at or near the property line. This frontage is a non-enclosed area of the building that encroaches into the front setback and accommodates residential as well as non-residential land uses as allowed.

This frontage provides the necessary physical separation for the private lot from the public sidewalk, while maintaining visual connection between buildings and the public space of the street.

Signage may be located on the wall, within a storefront or porch, on awnings, projecting from the building, and within the front setback, per the requirements of Section 6.0.

B. Design Standards

1. Porch frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
2. Porch frontages may be enclosed by low walls or fences provided that they are in compliance with all applicable requirements and that the materials and design are compatible with the architectural style of the building.
3. The porch may extend around to encroach into the street side yard within 1/2 of the required setback. If insufficient distance exists, the minimum porch depth shall be achieved by extending the porch into the building.
4. Awnings may be attached to the face of the porch provided that the awning is adequately supported and provided that the awning is compatible with the architectural style of the porch and building.
5. Within 15 feet of the sidewalk, the average grade of the porch surface shall be within three feet of the adjacent sidewalk or public open space and up to six feet when at least 15 feet from a sidewalk or open space.



Porch diagram - optional low fence at property line with porch extending from building facade into front setback comprise the frontage.

PORCH STANDARDS			
	MIN.	MAX.	
a	Porch depth (measured btwn the wall and columns)	8'	-
b	Porch height (measured from porch surface to top of porch columns)	8'	12'
c	Wall or fence	12"	4'
d	Separation between porch and fence	5'	na

Example of Intended Physical Character



Porch Example - small setback with or without fence and raised porch create separation from street while maintaining relationship with sidewalk and streetscape.

TABLE 5.5I. FRONT YARD FRONTAGE STANDARDS

A. Description

Front Yard frontages consist of the building facade being set back from the front property line in a dimension large enough to create a front yard which is visually continuous with neighboring yards. These yards are typically unfenced, and thus create a visually continuous landscape.

Signage is located on the wall, within a porch, on awnings, projecting from the building, and within the front setback as allowed.

B. Design Standards

1. Front Yard frontages shall be located on the building site per the zone.
2. Front Yard dimensions are per the zone standards.
3. Front Yards shall be at similar elevations above grade, and contain similar landscape to create consistency within a block.
4. Fencing, walls, or hedges at front setback areas (yards) between properties is not allowed.



Front Yard - setback can be small or large, and landscape is similar from yard to yard on a block.

FRONT YARD STANDARDS		
	MIN.	MAX.
a Size of Front Yard	per building setbacks in applicable zone	
b Encroachments into building setbacks	porch, stoop, awnings, balconies	
c Wall or fence	12"	4'
d Height of Front Yard from sidewalk	none	3'

Example of Intended Physical Character



Front Yard Example - A range of similar setbacks, continuous landscape (lawns shown here), and lack of fences or hedges create a unified frontage for the block.

TABLE 5.5J. PARKING COURT FRONTAGE STANDARDS

A. Description

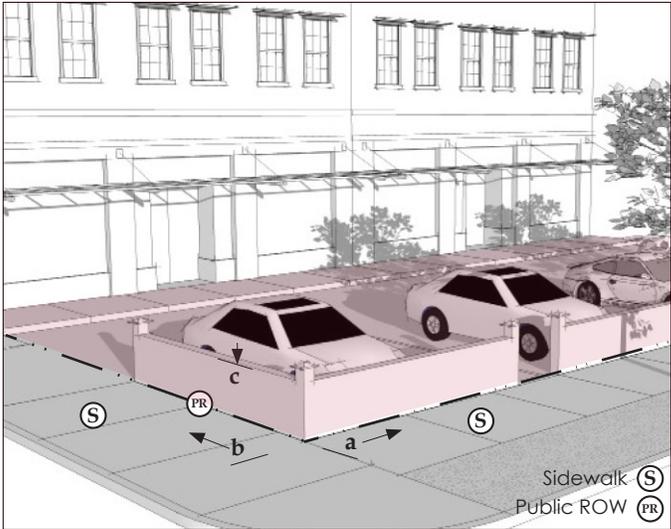
Parking court frontages consist of the primary building façade being set back from the front property line with a small parking lot within the setback. The parking lot is enclosed by a low wall or hedge at or near the property line for visual compatibility with the adjacent streetscape. The wall or hedge includes pedestrian entrances from the sidewalk and vehicular driveways from either the primary or secondary street(s). Depending upon the zone, buildings may be entirely setback behind the parking lot or may place a portion of the building near or at the sidewalk along the property line(s).

Landscaping typically separates the low wall from the adjacent sidewalk through planters (raised or at grade) or in decorative containers. When walls are used in lieu of a hedge, the materials and finishes are consistent with those of the primary building on the site.

Signage is from the allowed types for the zone and is either on the building or in a monument sign that is integrated with the low wall or hedge.

B. Design Standards

1. Parking Court frontages shall be located on the building site per the zone. In some zones, the parking court is not allowed to extend across the building site's entire frontage.
2. Parking Courts shall be designed to provide for safe vehicular and pedestrian access within the intended physical environment.
3. Parking Courts shall have no more than two rows of parking between the building and the street.
4. Driveways providing ingress and egress to the parking court shall not exceed 20 feet in width and shall have curb radii no larger than 15 feet.
5. Landscaping shall be placed on the sides of the stoop at grade or in raised planters.
6. Low walls and/or hedges shall screen the parking along the sidewalk. When walls are used, the materials and design shall be compatible with the architectural style of the building.



Parking Court Diagram

PARKING COURT STANDARDS		
	MIN.	MAX.
a	Width along primary frontage	50% 100%
	Length along secondary frontage	20' 75'
b	Depth (from sidewalk to building)	40' 75'
c	Height of Wall/Hedge	3' 4'
d	Length of Wall/Hedge	50% clr of dwys

Example of Intended Physical Character



Parking Court Example

