

# 2.0 Zones

## 2.10 Zones Established

### 2.10.10 Purpose

This Section establishes the zones to differentiate the applicability of the intent of the Downtown Specific Plan as applied to all property subject to the Downtown Code.

Figure 5.2.1 identifies the applicable zones and the parcels within their boundaries. This Section also establishes standards for each zone based on the intended physical character described in Table 5.2.

### 2.10.20 Zones

The properties subject to the Downtown Code are regulated by one of the following zones. Existing and intended rights-of-way are subject to Section 8.0, Block and Street Standards.

- A. Downtown Core (DTC).** See 5.2.A.A for intent and purpose of the Downtown Core zone and the intended physical character, streetscape/public realm, range of land uses, and requirements for parking.
- B. Downtown Edge (DTE).** See 5.2.B.A for intent and purpose of the Downtown Edge zone and the intended physical character, streetscape/public realm, range of land uses, and requirements for parking.
- C. Monterey Street (MS).** See 5.2.C.A for intent and purpose of the Monterey Street Corridor zone and the intended physical character, streetscape/public realm, range of land uses, and requirements for parking.
- D. Railroad Corridor (RR).** See 5.2.D.A for intent and purpose of the Railroad Corridor zone and the intended physical character, streetscape/public realm, range of land uses, and requirements for parking.
- E. Gateway (GW).** See 5.2.E.A for intent and purpose of the Gateway zone and the intended physical character, streetscape/public realm, range of land uses, and requirements for parking.

### 2.10.20 Required Criteria

- A.** In order for applications to be approved, each application shall meet the following criteria, as applicable.
  - 1. Maintains the unique zones identified in Figure 5.2.1 to effectively implement the vision, policies and physical character envisioned in the Downtown Specific Plan;
  - 2. Generates or maintains the intended physical character of the zone based on the policies and direction in the Downtown Specific Plan;
  - 3. Generates or maintains a compatible transition between zones through changes in building design, massing and scale at the mid-block or through appropriate street types for changes in physical scale on opposite sides of a street;
  - 4. Does not present the potential for an incompatible adjacency as defined in Section 10.0 'Definitions'; and
  - 5. Is in compliance with the applicable requirements of the zone(s) and Figure 5.2.1.

## 2.20 Regulating Plan Established

**A. Purpose of Regulating Plan.** The Regulating Plan identifies the applicable zones for property subject to the Downtown Code. Property subject to the Downtown Code shall comply with the requirements of the applicable zone and other requirements as identified on Figure 5.2.1.

**B. Implementation of Zones through Development Standards.** Each zone identified on Figure 5.2.1 shall contain standards for the following topics to implement the zone's corresponding part of the community vision:

1. Intended Physical Character:
  - Streetscape / Public Realm, Open Space,
  - Buildings,
  - Frontages,
  - Signage
  - Architectural Style
2. Land Use
3. Parking

Key to Figure 5.2.1

- Downtown Core Zone
- Downtown Edge Zone
- Monterey Street Zone
- Railroad Corridor Zone
- Gateway Zone
- Public Facility Zone (See PF Zone - SMC Title 17 for requirements)
- Old Town Neighborhood Area (See Specific Plan for policy direction and R1 zone - In Title 17 of the Soledad Municipal Code)
- Specific Plan Boundary
- 12 Reference to Block
- Intended Street (see Fig 5.8.1 for requirements)

See Table 5.2 for standards

Figure 5.2.1 Regulating Plan



## 2.30 Requirements by Zone

In support of the purpose and intended physical environment for each zone, Table 5.2 identifies the allowed buildings, front-ages, and signage types in each zone.

- Block-Form Buildings.** These are buildings that are larger than houses and intended for a wide variety of land use activities. These buildings tend to occupy most of their lot and can occupy large portions of a block in some cases. See Tables 5.4A - 5.4D.
- House-Form Buildings.** These are buildings that are the size of houses and intended for primarily residential activities with some non-residential activities as allowed by Tables 5.2A - 5.2E. These buildings are single or multiple dwelling buildings that always have the form and size of houses that are compatible with the neighborhood. See Tables 5.4E - 5.4J.
- Stories and Height.** Where partial numbers are shown for a building (e.g., '2.5'), this identifies that the upper most story is to be allowed at a lower coverage rate than the lower stories such as an occupied attic or smaller footprint than the story below. Building height is specified in Table 5.2 and is expressed in feet to the highest eave on the building, not counting the roof in the overall height dimension.

### NOTES FOR TABLE 5.2

- (1) NOT ALLOWED ON FRONT STREET
- (2) ALLOWED WHEN INTEGRAL TO PATIO
- (3) ALLOWED WHEN WITHIN 75 FEET OF STREET CORNER
- (4) ALLOWED ONLY ON MONTEREY STREET
- (5) IN GW ZONE, MAX. 3 STORIES FOR HOTELS

**TABLE 5.2. SUMMARY OF ZONES**

### INTENT AND PHYSICAL CHARACTER

### 5.2A - DT CORE (DTC)

The DTC zone is applied to areas north and south of the Downtown Core to provide a transition between the more intense areas of the Downtown Core and adjacent neighborhoods.



### BUILDINGS (SEE SECTION 4.0 FOR ALL REQUIREMENTS)

BLOCK - FORM TYPES	MAX. STORIES	REQUIREMENTS
A. LINED BUILDING	4	SEE TABLE 5.4A
B. FLEX BUILDING	4	SEE TABLE 5.4B
C. SHED	2	SEE TABLE 5.4C
D. ROWHOUSE '1'	2.5	SEE TABLE 5.4D
HOUSE - FORM TYPES	MAX. STORIES	REQUIREMENTS
E. ROWHOUSE '2'	NOT ALLOWED	
F. COURTYARD BUILDING	3.5	SEE TABLE 5.4F
G. BUNGALOW COURT	2.5	SEE TABLE 5.4G
H. MANSION APARTMENT	2.5	SEE TABLE 5.4H
I. DUPLEX, TRIPLEX, QUADPLEX	NOT ALLOWED	
J. HOUSE	NOT ALLOWED	

### FRONTAGES (SEE SECTION 5.0 FOR ALL REQUIREMENTS)

URBAN TYPES	ALLOWED	REQUIREMENTS
A. GALLERY (2 - STORY)	YES	SEE TABLE 5.5A
B. GALLERY (1 - STORY)	YES	SEE TABLE 5.5B
C. SHOPFRONT	YES	SEE TABLE 5.5C
D. FORECOURT	YES	SEE TABLE 5.5D
E. DOOR YARD	YES (1)	SEE TABLE 5.5E
F. WALLED YARD	YES (1)	SEE TABLE 5.5F
SUB - URBAN TYPES	ALLOWED	REQUIREMENTS
G. STOOP	YES (1)	SEE TABLE 5.5G
H. PORCH	YES (1)	SEE TABLE 5.5H
I. FRONT YARD	NOT ALLOWED	
J. PARKING COURT	YES (1)	SEE TABLE 5.5J

### SIGNAGE (SEE SECTION 6.0 FOR ALL REQUIREMENTS)

TYPE	ALLOWED	REQUIREMENTS
A. WALL	YES	SEE TABLE 5.6A
B. WINDOW	YES	SEE TABLE 5.6B
C. SIDEWALK	YES	SEE TABLE 5.6C
D. PROJECTING/BLADE	YES	SEE TABLE 5.6D
E. AWNING / CANOPY	YES	SEE TABLE 5.6E
F. YARD / PORCH	YES (1)	SEE TABLE 5.6F
G. MONUMENT	YES (2)	SEE TABLE 5.6G
H. ROOF	YES	SEE TABLE 5.6H
I. MARQUEE	YES	SEE TABLE 5.6I
J. POLE	NOT ALLOWED	

**5.2B - DT EDGE (DTE)**

The DTE zone is applied to areas north and south of the Downtown Core to provide a transition between the more intense areas of the Downtown Core and adjacent neighborhoods.



**5.2C - MONTEREY STREET (MS)**

The MS zone is applied to areas along Monterey Street and adjacent side streets to serve as a transition between the lower intensity neighborhoods to the east and the Downtown.



**5.2D - RR CORRIDOR (RR)**

The RR zone is applied to areas west of the railroad that bisect the Downtown to provide area for expansion and to accommodate large-format buildings that benefit the Downtown.



**5.2E - GATEWAY (GW)**

The GW zone is applied to areas near and surrounding the Front Street exit off U.S. Highway 101 to provide area for highway-oriented commercial uses and services.



MAX. STORIES	REQUIREMENTS						
2.5	SEE TABLE 5.4A	2	SEE TABLE 5.4A	2	SEE TABLE 5.4A	2(5)	SEE TABLE 5.4A
2.5	SEE TABLE 5.4B	2 (3)	SEE TABLE 45.B	2	SEE TABLE 5.4B	2(5)	SEE TABLE 5.4B
1	SEE TABLE 5.4C	NOT ALLOWED		2	SEE TABLE 5.4C	1	SEE TABLE 5.4C
2.5	SEE TABLE 5.4D	NOT ALLOWED		2	SEE TABLE 5.4D	2	SEE TABLE 5.4D
MAX. STORIES	REQUIREMENTS						
2.5	SEE TABLE 5.4E	2	SEE TABLE 5.4E	2	SEE TABLE 5.4E	2	SEE TABLE 5.4E
2.5	SEE TABLE 5.4F	2.5	SEE TABLE 5.4F	2	SEE TABLE 5.4F	2	SEE TABLE 5.4F
2.5	SEE TABLE 5.4G	2	SEE TABLE 5.4G	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 5.4H	2	SEE TABLE 5.4H	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 5.4I	2	SEE TABLE 5.4I	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 5.4J	2	SEE TABLE 5.4J	NOT ALLOWED		NOT ALLOWED	

ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
NOT ALLOWED		NOT ALLOWED		YES	SEE TABLE 5.5A	NOT ALLOWED	
YES	SEE TABLE 5.5B	YES (3,4)	SEE TABLE 5.5B	YES	SEE TABLE 5.5B	YES	SEE TABLE 5.5B
YES	SEE TABLE 5.5C	YES (3)	SEE TABLE 5.5C	YES	SEE TABLE 5.5C	YES	SEE TABLE 5.5C
YES	SEE TABLE 5.5D	YES (3)	SEE TABLE 5.5D	YES	SEE TABLE 5.5D	NOT ALLOWED	
YES (1)	SEE TABLE 5.5E	YES	SEE TABLE 5.5E	NOT ALLOWED		NOT ALLOWED	
YES	SEE TABLE 5.5F	YES (1)	SEE TABLE 5.5F	YES	SEE TABLE 5.5F	NOT ALLOWED	
ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
YES	SEE TABLE 5.5G						
YES	SEE TABLE 5.5H	YES	SEE TABLE 5.5H	NOT ALLOWED		YES	SEE TABLE 5.5H
YES (1)	SEE TABLE 5.5I	YES	SEE TABLE 5.5I	NOT ALLOWED		YES	SEE TABLE 5.5I
YES	SEE TABLE 5.5J	YES (4)	SEE TABLE 5.5J	YES	SEE TABLE 5.5J	YES	SEE TABLE 5.5J

ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
YES	SEE TABLE 5.6A	YES	SEE TABLE 5.6A	YES	SEE TABLE 5.6A	YES	SEE TABLE 5.6A
YES	SEE TABLE 5.6B	YES	SEE TABLE 5.6B	YES	SEE TABLE 5.6B	YES	SEE TABLE 5.6B
YES	SEE TABLE 5.6C	NOT ALLOWED		YES	SEE TABLE 5.6C	NOT ALLOWED	
YES	SEE TABLE 5.6D	YES	SEE TABLE 5.6D	YES	SEE TABLE 5.6D	NOT ALLOWED	
YES	SEE TABLE 5.6E	YES (3)	SEE TABLE 5.6E	YES	SEE TABLE 5.6E	YES	SEE TABLE 5.6E
YES	SEE TABLE 5.6F	YES	SEE TABLE 5.6F	YES	SEE TABLE 5.6F	NOT ALLOWED	
YES	SEE TABLE 5.6G	YES (2)	SEE TABLE 5.6G	YES (2)	SEE TABLE 5.6G	YES	SEE TABLE 5.6G
YES	SEE TABLE 5.6H	NOT ALLOWED		YES	SEE TABLE 5.6H	NOT ALLOWED	
YES	SEE TABLE 5.6I	NOT ALLOWED		YES	SEE TABLE 5.6I	NOT ALLOWED	
YES	SEE TABLE 5.6J	NOT ALLOWED		NOT ALLOWED		YES	SEE TABLE 5.6J

**2.30.10 DOWNTOWN CORE**

**A. INTENT AND PURPOSE**

The Downtown Core zone is applied to the central blocks of downtown intended to be the shopping, entertainment and civic core of Soledad.

**B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE**

Buildings are primarily block-form with some existing house-form buildings and new house-form buildings along side streets. Buildings are up to four stories, mixed and single use, with the widest variety and most intense commercial uses and services. Buildings are near or at the sidewalk to spatially define the streetscape. Massing is toward the front of buildings to spatially define the wide streets, provide service area in the rear, and promote compatibility with neighboring properties.

**C. STREETScape / PUBLIC REALM AND OPEN SPACE**

The streetscape is in support of high pedestrian activity and consists of a range of permanent shade property-frontages such as galleries as well as shopfronts with wide awnings and shade trees. Wide sidewalks accommodate outdoor dining while providing for comfortable strolling and easy view of retail merchandise.

Open spaces are urban and provide community gathering space in support of high pedestrian activity and civic events.

**D. LAND USE ACTIVITY**

The Downtown Core zone contains a vibrant range of land use activity such as: Retail, Restaurants, Entertainment, Grocery, Bakery / Deli, Office, Personal Services, Lodging, Transit Station, Residential above or behind non-residential activity.

**E. PARKING**

Minimum required on-site parking for each use is stated in Table 5.2A.1, however applicants are encouraged to utilize shared parking for non-residential uses in accordance with Section 9.20.20. Residential parking is provided on the site of its building.



Mixed-use single, two- to four-story buildings at or near the sidewalk with non-residential uses on Front Street.



Sidewalks provide room for view of merchandise in shopfronts, displays and street furniture as well as for pedestrian comfort.



Transit station with 3-story mixed-use building such as retail with offices or housing above, or a hotel, or educational classrooms or civic uses.

**TABLE 5.2A.1 ALLOWED LAND USES AND REQUIRED PARKING: DOWNTOWN CORE**

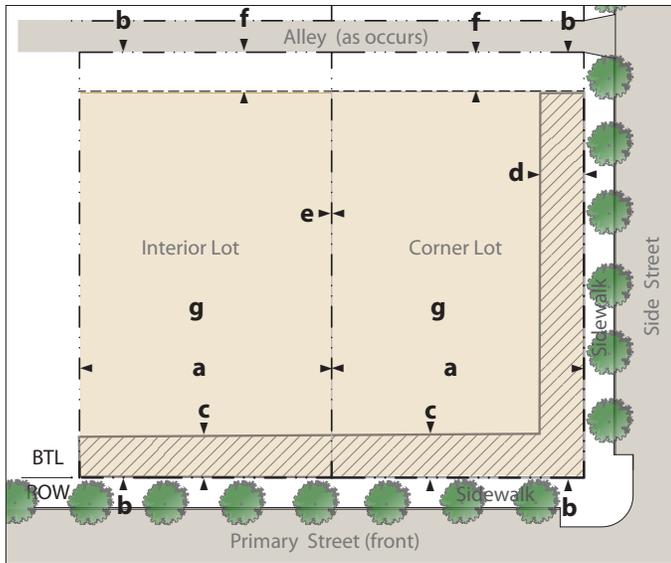
CATEGORY	USE	PERMIT	PARKING
ENTERTAINMENT AND RECREATION	Adult Entertainment	-	-
	Cinema	CUP	1/400
	Nightclub	CUP (5)	1/400
	Health / Fitness	P	1/400
	Indoor / Outdoor Recreation	MUP	1/400
	Live / Amplified Music, Internet Cafe	MUP (5)	1/400
	Meeting Facility	MUP (5)	1/400
	Performing Arts	MUP	1/400
RESTAURANT AND FOOD	Drive-Through	-	-
	Pub / Bar	CUP (5)	1/400
	Restaurant (may include alcohol sales)	MUP (5)	1/400
	Sidewalk Dining	MUP (5)	0
	Wine Tasting / Brew Pub	MUP (5)	1/400
RETAIL	Alcohol Sales (off-site consumption)	CUP (5)	0
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/400
	Retail <10,000 square feet	P	1/400
	Retail >10,000 square feet	MUP	1/400
	Secondhand Stores	P (5)	1/400
SERVICES	Bail Bonds / Check Cashing	-	-
	Bakery (wholesale)	MUP	1/400
	Care Facility for the Elderly	P	1/4
	Day Care: Adult Day	P	1/4
	Day Care: Small House	P	1/4
	Day Care: Large House	MUP	1/4
	Day Care Center: Child	MUP	1/4
	Drive-Through	-	-
	Emergency Shelter	-	-
	Funeral Home	-	-
	Hotel / Motel	MUP	1/2 rooms
	Inn (B&B)	MUP	1/3 rooms
	Laundromat / Dry Cleaning	P	1/400
	Medical Services	P	1/400
	Personal Services	P	1/500
	Personal Services, Restricted	CUP (5)	1/500
	Printing / Photocopying	P	1/500
	Repair (non-vehicular)	P	1/500
	School, private	P	1/400
	Veterinary Clinic / Animal Boarding & Day Care	-	-

CATEGORY	USE	PERMIT	PARKING
OFFICE AND CIVIC	Office or Civic, General	P	1/400
	Government	P	1/400
	Transit Station	MUP (2)	25
RESIDENTIAL	Ground Floor	P (1)	1/unit
	Group home, less than 7 clients	P (1)	1/unit
	Group home, more than 7 clients	-	-
	Single-Family Residential	-	-
	Multi-Family Residential	MUP	1.5/unit
	Mobile Home Park	-	-
	Single Room Occupancy	MUP	1/2 units
Upper Floors	P	1/unit	
INDUSTRIAL	Agriculture	-	-
	Manufacturing (perishable)	-	-
	Manufacturing (non-perishable)	-	-
	Power / Electrical Substation	-	-
	Reverse Vending Machine	P	0
Small Collection Facility	-	-	
MOTOR VEHICLE RELATED	Car Wash	-	-
	Gas Station (non-commercial vehicles)	-	-
	Gas Station (commercial vehicles)	-	-
	Repair (motor vehicles)	-	-
	Motor Vehicle Sales, new and used	CUP (4)	1/400
	Motor Vehicle Rentals	P	1/10
COMMUNICATIONS	Communications Tower / Facility	CUP (5)	0
	Broadcasting / Recording Studio	MUP	1/400
OTHER	Temporary Use	MUP (5)	0
	Park, Plaza, Community Garden	MUP	0

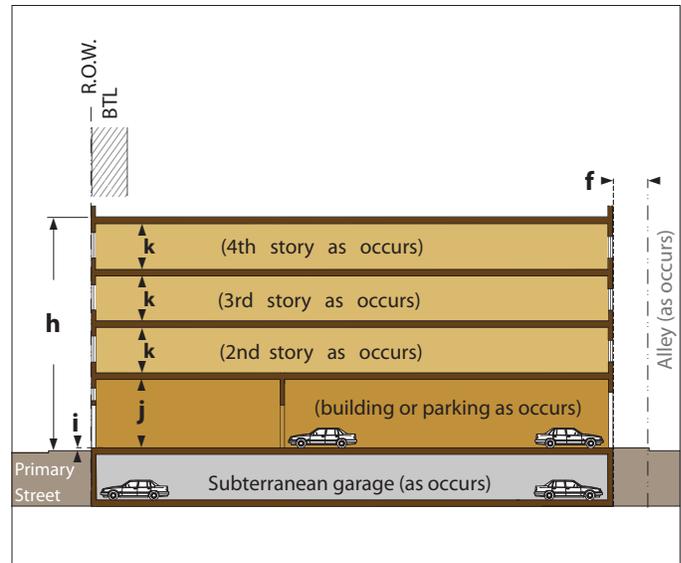
**Key to Table 5.2A.1**

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
-	Use not allowed
(1)	Use not allowed on Front Street ground floor
(2)	Primary station
(3)	Less than 10,000 square feet
(4)	No new parking lot display on Front Street
(5)	See also Section 3.0 Standards for Specific Uses

**DOWNTOWN CORE: TABLE 5.2A.2 DEVELOPMENT STANDARDS**



- Property Line    - - - - -
- BTL Build-To Layer    [hatched box]
- See standards below    a ▶
- Buildable Area    [hatched box]
- See standards below    a ▶



- Property Line    - - - - -
- BTL Build-To Layer    [hatched box]
- See standards below    a ▶
- Ground Floor    [solid brown box]  
(see standards below)
- Upper Floors    [solid brown box]  
(see standards below)

**A. Building Placement and Type**

- Buildings shall be located on a lot, within the building site per above diagram<sup>a</sup>
- Building facades along streets shall be located within the build-to-layer per the above diagram.
- Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.

STANDARDS		
REQUIREMENT	MIN.	MAX.
<b>a</b> Building Site Width (shall comply w/ bldg type min)	20'	300'
<b>b</b> Building Site Depth (shall comply w/ bldg type min)	75'	n.a.
<b>c</b> Front Setback <sup>1</sup>	0'	10'
<b>d</b> Side Street Setback <sup>1</sup>	0'	10'
<b>e</b> Side Setback <sup>2</sup>	0'	n.a.
Side Setback <sup>2</sup> adjacent to MS zone	10' up to 2.5 stories; 50' for 4th story	
<b>f</b> Rear Setback <sup>3</sup>	10'	n.a.
<b>f'</b> Rear Setback <sup>3</sup> adjacent to MS zone	20'	n.a.
<b>g</b> Building Dimensions <sup>4</sup>	no min.	100 ft

<sup>a</sup> One lot may have several building sites, min. and max. standards apply to building site.  
<sup>1</sup> In compliance with selected frontage type.  
<sup>2</sup> Fire Code - building protection per local fire/safety code.  
<sup>3</sup> Where an alley provides vehicular access, minimum setback is 5'.

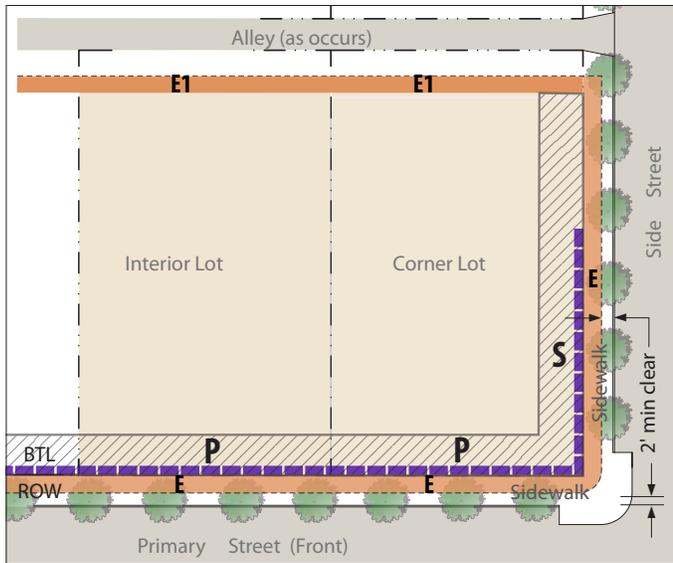
**B. Building Configuration**

- Buildings shall comply with the standards below, measured in stories and feet.
- Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.
- Single story buildings shall comply with 'h' below (minimum 20' to highest eave)

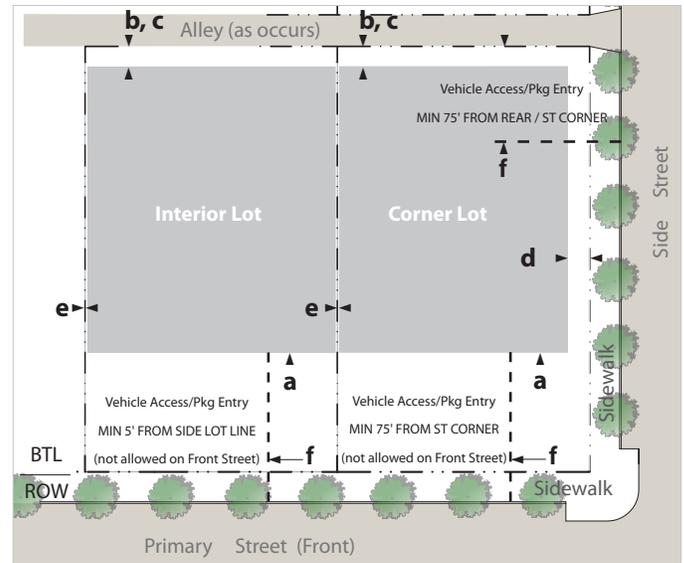
STANDARDS		
CONFIGURATION	MIN.	MAX.
<b>h</b> Building Height in Stories (when along side or rear boundary of MS zone, 3 stories shall be in 2.5 story form; 4 stories shall be setback as required)	1	4 <sup>5</sup>
<b>h</b> Building Height in Feet to highest eave	20' <sup>5</sup>	50' <sup>5</sup>
<b>i</b> Ground Floor Level: non-res <sup>6</sup>	0'	4'
Ground Floor Level: residential <sup>6</sup>	2'	6'
<b>j</b> Ground Floor Height <sup>7</sup>	12' <sup>5</sup>	none
<b>k</b> Upper Story Height	10'	none

<sup>4</sup> Individual volumes up to this size may abut provided that each volume is offset from the other by a minimum 5' plane-break and a minimum 8' height difference.<sup>5</sup> Architectural elements such as roofs, parapets, finials, are allowed up to 60', as approved by the City.  
<sup>6</sup> Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.  
<sup>7</sup> Minimum if not historic building.

**TABLE 5.2A.2 DEVELOPMENT STANDARDS: DOWNTOWN CORE**



- Property Line    - - - - -    Frontage Required (see 'C' for reqmts)
- BTL Build-To Layer
- Primary Frontage    **P**    Encroachment Area (see 'C' for reqmts)    **E, E1**
- Secondary Frontage    **S**



- Property Line    - - - - -    Allowed Parking Area
- See standards below    **a** >

**C. Frontages and Encroachments**

- Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
- Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review.
- Building elements may encroach into setbacks as identified.
- Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
FRONTAGE LOCATION	MIN.
<b>P</b> Along Primary Street	80 <sup>8</sup>
<b>S</b> Along Side Street	65 <sup>8</sup>
<b>E</b> Allowed Frontages encroaching on Public R.O.W.	
Gallery (1 or 2)	See Frontage standards in Section 5.0 for requirements
Shopfront	
<b>E</b> Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	See Frontage standards in Section 5.0 for requirements
Walled Yard (on side streets only)	
Stoop	
<b>E1</b> Encroachment along rear of lot	3' max.

<sup>8</sup> For corner sites, the frontage must begin at the street corner.

**D. Parking and Services**

- Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
- Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
- Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	MIN.	SCREENING, NOTES
PARKING LOCATION		TYPE OF REQD SCREENING
<b>a</b> Front Setback	50'	By the building
<b>b</b> Rear Setback to Alley	5'	By the building, or min. 2' tall wall or hedge when within 10' of side street
<b>c</b> Rear Setback no Alley	10'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>d</b> Side Street Setback	5'	Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
<b>e</b> Side Setback	0'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>f</b> Parking Entry		Corner lot: min. 75' from street corner Interior lot: within 5' of either side when side street or alley are not present

## 2.30.20 DOWNTOWN EDGE

### A. INTENT AND PURPOSE

The Downtown Edge zone is applied to areas North and South of the Downtown Core to provide a transition between the more intense areas of the Downtown Core and adjacent areas.

### B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE

Buildings are primarily house-form except along Front Street where block-form buildings are allowed. Buildings are up to 2.5 stories, mixed and single use with a wide variety of commercial uses and services. Buildings are near or at the sidewalk to spatially define the streetscape. Massing is toward the front of buildings to spatially define the wide streets, to provide service area in the rear, and promote compatibility with neighboring properties.

### C. STREETScape / PUBLIC REALM, OPEN SPACE

The streetscape is in support of pedestrian activity and consists of a range of commercial to residentially-oriented frontages except along Front Street where permanent shade property-frontages such as galleries as well as shopfronts with wide awnings and shade trees are present. Wide sidewalks accommodate outdoor dining while providing for comfortable strolling.

Open spaces are urban and suburban in support of neighborhood activity and focused commercial activity along Front Street.

### D. LAND USE ACTIVITY

The Downtown Edge zone contains a wide range of land use activity such as: Retail, Restaurants, Limited Entertainment, Office, Personal Services, Lodging, Residential above or behind non-residential activity on Front Street and ground floor residential elsewhere. Also included are an existing power utility substation and mobile home park.

### E. PARKING

Minimum required on-site parking for each use is stated in Table 5.2B.1, however applicants are encouraged to utilize shared parking for non-residential uses in accordance with Section 9.20.20. Residential parking is provided on the site of its building.



Single-story retail, office or restaurant activity with forecourt at corner.



House-form buildings with porch frontages transition from the more intense Downtown Core to the Monterey Street zone.



Parking Courts provide convenient parking while maintaining a strong relationship with the streetscape.

**TABLE 5.2B.1 ALLOWED LAND USES AND REQUIRED PARKING: DOWNTOWN EDGE**

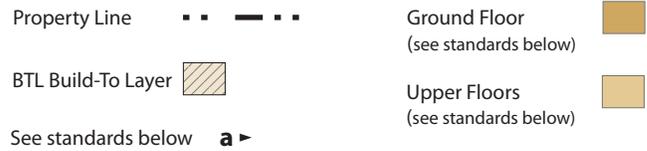
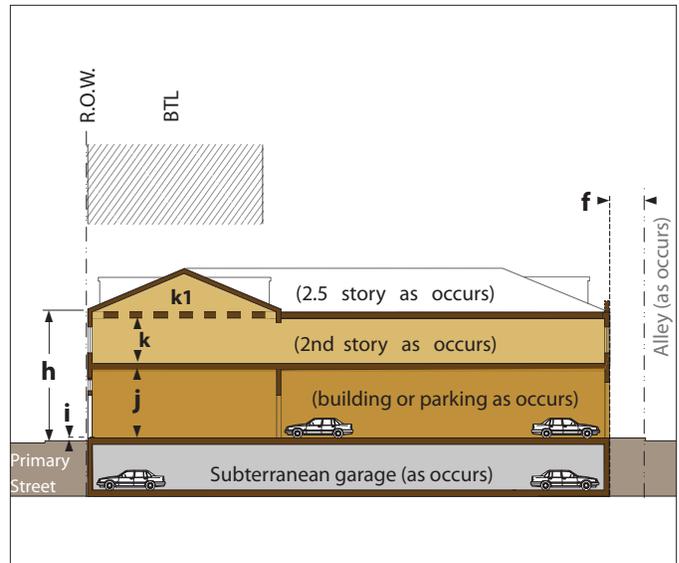
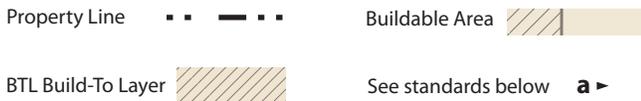
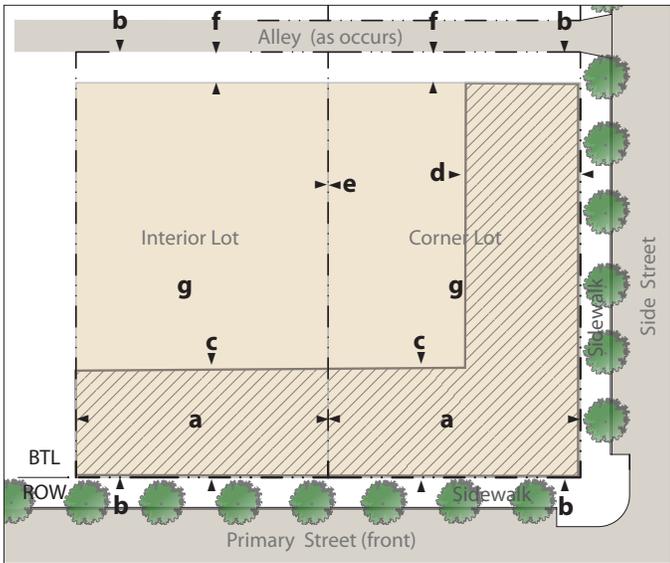
CATEGORY	USE	PERMIT	PARKING
ENTERTAINMENT AND RECREATION	Adult Entertainment	CUP (17.38.010)	
	Cinema	CUP	1/400
	Nightclub	CUP (3)	1/400
	Health / Fitness	P	1/400
	Indoor / Outdoor Recreation	MUP	1/400
	Live / Amplified Music, Internet Cafe	MUP (3)	1/400
	Meeting Facility	MUP (3)	1/400
	Performing Arts	MUP	1/400
RESTAURANT AND FOOD	Drive-Through	-	-
	Pub / Bar	CUP (3)	1/400
	Restaurant (may include alcohol sales)	MUP (3)	1/400
	Sidewalk Dining	MUP (3)	0
	Wine Tasting / Brew Pub	MUP (3)	1/400
RETAIL	Alcohol Sales (off-site consumption)	CUP (3)	0
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/400
	Retail <10,000 square feet	P	1/300
	Retail >10,000 square feet	MUP	1/300
	Secondhand Stores	P (3)	1/300
SERVICES	Bail Bonds / Check Cashing	MUP	1/400
	Bakery (wholesale)	P	1/300
	Care Facility for the Elderly	P	1/4
	Day Care: Adult Day	P	1/4
	Day Care: Small House	P	1/4
	Day Care: Large House	P	1/4
	Day Care Center: Child	MUP	1/4
	Drive-Through	-	-
	Emergency Shelter	P	1/4
	Funeral Home	CUP	1/300
	Hotel / Motel	MUP	1/2
	Inn (B&B)	MUP	1/3
	Laundromat / Dry Cleaning	P	1/400
	Medical Services	P	1/400
	Personal Services	P	1/400
	Personal Services, Restricted	CUP (3)	1/400
	Printing / Photocopying	P	1/400
	Repair (non-vehicular)	P	1/400
	School, private	P	1/300
	Veterinary Clinic / Animal Boarding & Day Care	MUP	1/400

CATEGORY	USE	PERMIT	PARKING
OFFICE AND CIVIC	Office or Civic, General	P	1/400
	Government	P	1/300
	Transit Station	MUP	40
RESIDENTIAL	Ground Floor	P (1)	1.5/unit
	Group home, less than 7 clients	P (1)	1/2 units
	Group home, more than 7 clients	P (1)	1/2 units
	Single-Family	-	-
	Multi-Family	MUP	1.5 / unit
	Mobile Home Park	CUP	1/unit
	Single-Room Occupancy	CUP	1/2 units
	Upper Floors	P	1.5/unit
INDUSTRIAL	Agriculture	-	-
	Manufacturing (perishable)	-	-
	Manufacturing (non-perishable)	P (1)	1/350
	Power / Electrical Substation	P (2)	10
	Reverse Vending Machine	P	0
	Small Collection Facility	P	0
MOTOR VEHICLE RELATED	Car Wash	MUP (3)	1/400
	Gas Station (non-commercial vehicles)	MUP (3)	5
	Gas Station (commercial vehicles)	-	-
	Repair (motor vehicles)	MUP (3)	1/bay
	Motor Vehicle Sales, new and used	MUP	1/350
	Motor Vehicle Rentals	P	10
COMMUNICATIONS	Communications Tower / Facility	CUP (3)	0
	Broadcasting / Recording Studio	MUP	1/400
OTHER	Temporary Use	MUP (3)	0
	Park, Plaza, Community Garden	MUP	0

**Key to Table 5.2B.1**

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
-	Use not allowed
(1)	Less than 25,000 square feet
(2)	Only on Block 2C
(3)	See also Section 3.0 Standards for Specific Uses

**DOWNTOWN EDGE: TABLE 5.2B.2 DEVELOPMENT STANDARDS**



**A. Building Placement and Type**

1. Buildings shall be located on a lot, within the building site per above diagram<sup>o</sup>
2. Building facades along streets shall be located within the build-to-layer per the above diagram.
3. Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.

STANDARDS		
REQUIREMENT	MIN.	MAX.
<b>a</b> Building Site Width (shall comply w/ bldg type min.)	20'	200'
<b>b</b> Building Site Depth (shall comply w/ bldg type min.)	75'	n.a.
<b>c</b> Front Setback <sup>1</sup>	0'	50'
<b>d</b> Side Street Setback <sup>1</sup>	0'	50'
<b>e</b> Side Setback <sup>2</sup>	0'	n.a.
<b>f</b> Rear Setback <sup>3</sup>	10'	n.a.
<b>g</b> Building Floor Dimensions <sup>4</sup>	no min.	100'

<sup>o</sup> One lot may have several building sites, min. and max. standards apply to building site.  
<sup>1</sup> In compliance with selected frontage type.  
<sup>2</sup> Fire Code - building protection per local fire/safety code.  
<sup>3</sup> Where an alley provides vehicular access, minimum setback is 5'.  
<sup>4</sup> Individual volumes up to this size may abut provided that each volume is offset from the other by a minimum 5' plane-break and a minimum 8' height difference.

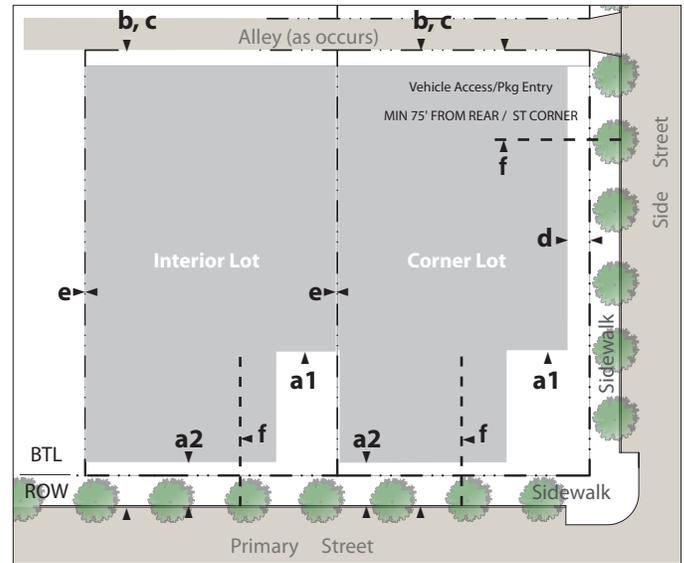
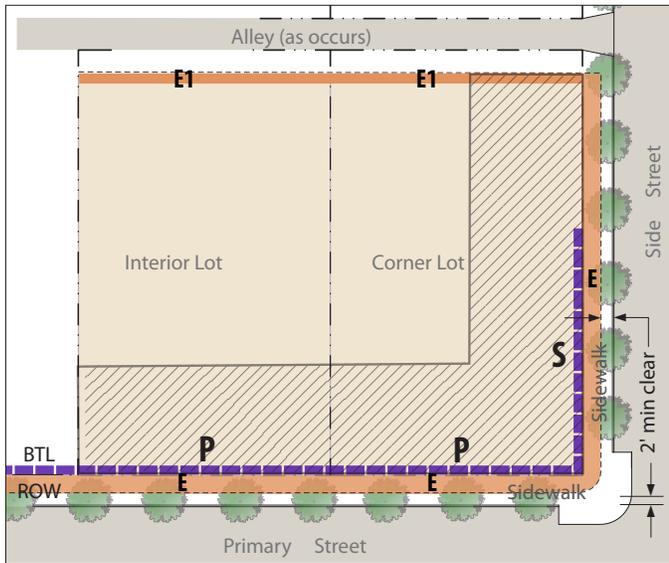
**B. Building Configuration**

1. Buildings shall comply with the standards below, measured in stories and feet.
2. Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.
3. Single story buildings shall comply with 'h' below (minimum 20' to highest eave)

STANDARDS		
CONFIGURATION	MIN.	MAX.
<b>h</b> Building Height in Stories	1	2.5 <sup>5</sup>
<b>h</b> Building Height in feet to highest eave	20' <sup>5</sup>	28' <sup>5</sup>
<b>i</b> Ground Floor Level: non-residential <sup>6</sup>	0'	4'
Ground Floor Level: residential <sup>6</sup>	2'	6'
<b>j</b> Ground Floor Height <sup>7</sup>	12' <sup>7</sup>	none
<b>k</b> Upper Story Height	10'	none
<b>k1</b> 3rd Floor volume(s) shall be within 2nd story roof		

<sup>5</sup> Architectural elements such as roofs, parapets, finials, are allowed up to 45', as approved by the City.  
<sup>6</sup> Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.  
<sup>7</sup> Minimum if not historic building.

**TABLE 5.2B.2 DEVELOPMENT STANDARDS: DOWNTOWN EDGE**



- Property Line  Frontage Required (see 'C' for reqmts)
- BTL Build-To Layer  Encroachment Area (see 'C' for reqmts) **E, E1**
- Primary Frontage **P** Secondary Frontage **S**

- Property Line  Allowed Parking Area
- See standards below **a ▶**

**C. Frontages and Encroachments**

1. Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
2. Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review.
3. Building elements may encroach into setbacks as identified.
4. Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

**D. Parking and Services**

1. Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
2. Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
3. Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
Frontage Location	Min.
<b>P</b> Along Primary Street	20 <sup>8</sup>
<b>S</b> Along Side Street	20 <sup>8</sup>
<b>E</b> Allowed Frontages encroaching on Public R.O.W.	
Gallery 1-story	See Frontage standards in Section 5.0 for requirements
Shopfront	
<b>E</b> Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	See Frontage standards in Section 5.0 for requirements
Door Yard	
Walled Yard	
Stoop	
Porch	
Front Yard	
Parking Court	
<b>E1</b> Encroachment along rear of lot	3' max.

STANDARDS	MIN.	SCREENING, NOTES
PARKING LOCATION		TYPE OF REQD SCREENING
<b>a1</b> Front Setback for up to 20% of lot frontage	50 ft	By the building or min 2' tall wall or hedge as allowed per parking court frontage
<b>a2</b> Front Setback for up to 80% of lot frontage	5 ft	
<b>b</b> Rear Setback to Alley	5 ft	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>c</b> Rear Setback no Alley	10 ft	Min. 5' tall wall or fence
<b>d</b> Side Street Setback	5 ft	Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
<b>e</b> Side Setback	0 ft	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>f</b> Parking Entry		Corner lot: min. 75' from street corner Interior lot: within 5' of either side when side street or alley are not present

<sup>8</sup> For corner sites, the frontage must begin at the street corner.

## 2.30.30 MONTEREY STREET

### A. INTENT AND PURPOSE

The Monterey Street zone is applied to areas along Monterey Street to serve as a transition from the lower intensity neighborhoods to the east and the downtown.

### B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE

Buildings are primarily house-form and range from houses to house-form rowhouses and courtyard buildings. Flex buildings are allowed in certain locations. Buildings are up to 2.5 stories, mixed and single use with an emphasis on housing and neighborhood-level retail and services along Monterey Street and primarily residential elsewhere. Buildings are near or at the sidewalk to spatially define the streetscape. Massing is reduced and distributed to promote resident identity and compatibility with neighboring properties.

### C. STREETScape / PUBLIC REALM AND OPEN SPACE

The streetscape is in support of pedestrian activity and consists of a range of residential frontages such as front yards and porches as well as shopfronts with wide awnings along portions of Monterey Street. Wide and shaded sidewalks accommodate appropriate outdoor dining in mixed use areas while providing for comfortable strolling.

### D. LAND USE ACTIVITY

The Monterey Street zone contains a wide range of land use activity along Monterey Street such as neighborhood-oriented Retail, Restaurants, Grocery, Bakery / Deli, Office, and Personal Services. Ground floor residential is allowed anywhere in this zone. Residential is allowed above or behind non-residential activity. Along side streets, land use activity is primarily residential.

### E. PARKING

Minimum required on-site parking for each use is stated in Table 5.2C.1, however applicants are encouraged to utilize shared parking for non-residential uses in accordance with Section 9.20.20. Residential parking is provided on the site of its building.



Mixed-use single, to two and one-half story buildings along with new civic buildings.



House-form row house buildings provide density while maintaining the house-form nature of Monterey Street.



House-form buildings are utilized in a variety of ways, providing options as with this house and restaurant.

**TABLE 5.2C.1 ALLOWED LAND USES AND REQUIRED PARKING: MONTEREY STREET**

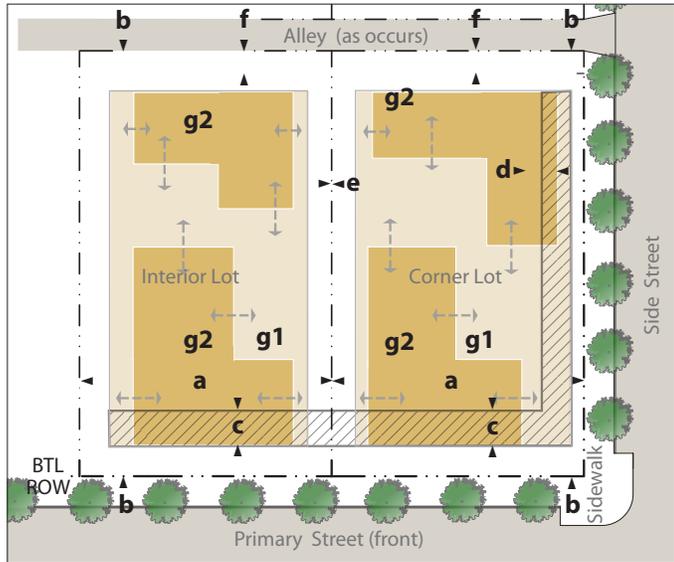
CATEGORY	USE	PERMIT	PARKING
ENTERTAINMENT AND RECREATION	Adult Entertainment	-	-
	Cinema	-	-
	Nightclub	-	-
	Health / Fitness	P	1/400
	Indoor / Outdoor Recreation	CUP	1/400
	Live / Amplified Music, Internet Cafe	MUP	1/400
	Meeting Facility	MUP (4)	1/400
RESTAURANT AND FOOD	Drive-Through	-	-
	Pub / Bar	-	-
	Restaurant (may include alcohol sales)	MUP (4)	1/400
	Sidewalk Dining	P (4)	0
RETAIL	Wine Tasting / Brew Pub	-	-
	Alcohol Sales (off-site consumption)	CUP (4)	1/400
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	MUP (2)	1/400
	Retail <10,000 sf	MUP	1/400
	Retail >10,000 sf	-	-
SERVICES	Secondhand Stores	P (4)	1/400
	Bail Bonds / Check Cashing	-	-
	Bakery (wholesale)	-	-
	Care Facility for the Elderly	P	1/4
	Day Care: Adult Day	P	1/4
	Day Care: Small House	P	1/4
	Day Care: Large House	P	1/4
	Day Care Center: Child	MUP	1/4
	Drive-Through	-	-
	Emergency Shelter	-	-
	Funeral Home	-	-
	Hotel / Motel	-	-
	Inn (B&B)	MUP	1/3 rooms
	Laundromat / Dry Cleaning	MUP	1/400
	Medical Services	P	1/400
	Personal Services	P	1/400
	Personal Services, Restricted	-	-
	Printing / Photocopying	P	1/400
	Repair (non-vehicular)	P	1/400
	School, private	MUP	1/400
Veterinary Clinic / Animal Boarding & Day Care	CUP	1/400	

CATEGORY	USE	PERMIT	PARKING
OFFICE AND CIVIC	General Office or Civic	P	1/400
	Government	P	1/300
	Transit Station	MUP	0
RESIDENTIAL	Ground Floor	P (1)	1.5/unit
	Group home, less than 7 clients	P (1)	1/2 units
	Group home, more than 7 clients	P (1)	1/2 units
	Single-Family	P	1.5 / unit
	Multi-Family	P	1.5 / unit
	Mobile Home Park	CUP	1/unit
	Single-Room Occupancy	-	-
INDUSTRIAL	Upper Floors	P	1.5/unit
	Agriculture	-	-
	Manufacturing (perishable)	-	-
	Manufacturing (non-perishable)	-	-
	Power / Electrical Substation	-	-
MOTOR VEHICLE RELATED	Reverse Vending Machine	-	-
	Small Collection Facility	-	-
	Car Wash	-	-
	Gas Station (non-commercial vehicles)	-	-
	Gas Station (commercial vehicles)	-	-
	Repair (motor vehicles)	-	-
COMMUNICATIONS	Motor Vehicle Sales, new and used	-	-
	Motor Vehicle Rentals	-	-
OTHER	Communications Tower / Facility	CUP	0
	Broadcasting / Recording Studio	-	-
OTHER	Temporary Use	MUP (4)	0
	Park, Plaza, Community Garden	MUP	0

**Key to Table 5.2C.1**

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
TUP	Conditional Use - Temporary Use Permit Required
-	Use not allowed
(1)	Fronting on a park (blocks 5C, 5D, 6C, 7C, 7D)
(2)	Maximum 5,000 square feet
(3)	Only on Block 12C
(4)	See also Section 3.0 Standards for Specific Uses

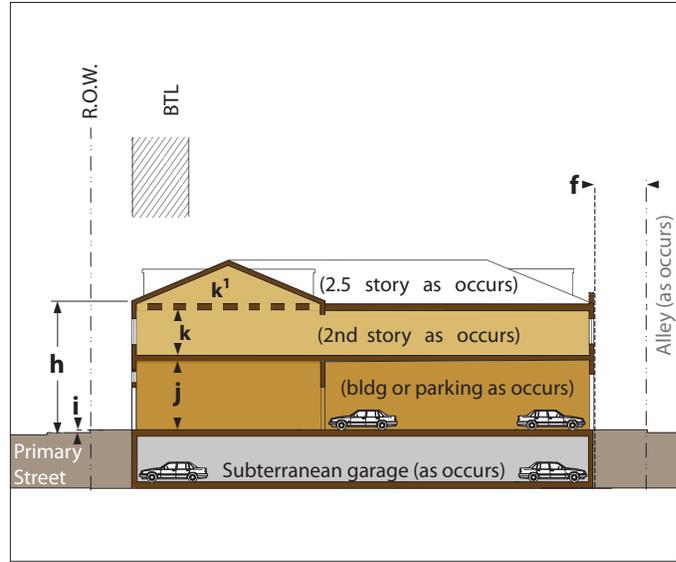
**MONTEREY STREET: TABLE 5.2C.2 DEVELOPMENT STANDARDS**



Property Line Buildable Area Ground Floor

BTL Build-To Layer Buildable Area Upper Floors

See standards below **a ▶**



Property Line Ground Floor (see standards below)

BTL Build-To Layer Upper Floors (see standards below)

See standards below **a ▶**

**A. Building Placement and Type**

1. Buildings shall be located on a lot, within the building site per above diagram<sup>a</sup>
2. Building facades along streets shall be located within the build-to-layer per the above diagram.
3. Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.
4. Second and third story volumes may abut provided that they comply with the massing requirements below and note 'D'.

STANDARDS			
	REQUIREMENT	MIN.	MAX.
<b>a</b>	Building Site Width (shall comply w/ bldg type min.)	50'	150'
<b>b</b>	Building Site Depth (shall comply w/ bldg type min.)	50'	n.a.
<b>c</b>	Front Setback (0' min. where Flex Bldg allowed)	10'	20'
<b>d</b>	Side Street Setback <sup>1</sup> (0' min. where Flex Bldg allowed)	5'	15'
<b>e</b>	Side Setback <sup>2</sup>	10'	n.a.
<b>f</b>	Rear Setback <sup>3</sup>	15'	n.a.
<b>g1</b>	Ground Floor and 2nd Floor Dimensions <sup>4</sup>	none	80'
<b>g2</b>			
<b>g3</b>	3rd Floor Dimensions <sup>4</sup>	none	65'

<sup>a</sup> One lot may have several building sites, min. and max. standards apply to building site.  
<sup>1</sup> In compliance with selected frontage type.  
<sup>2</sup> Fire Code - building protection per local fire/safety code.

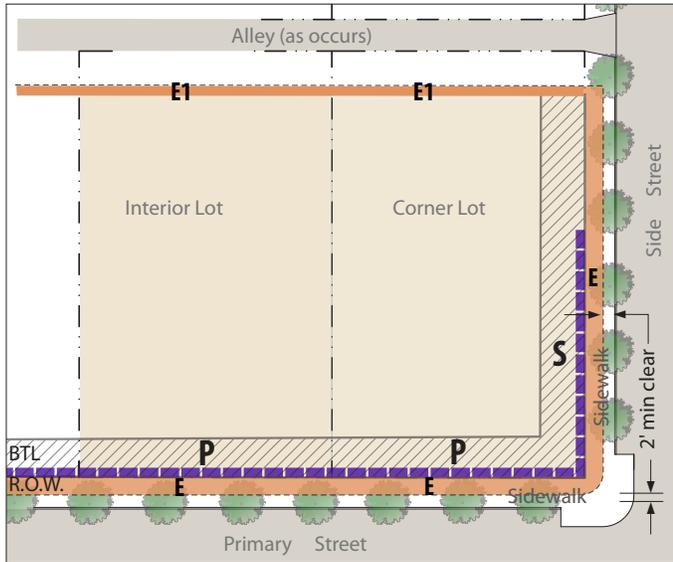
**B. Building Configuration**

1. Buildings shall comply with the standards below, measured in stories and feet.
2. Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.
3. Single story buildings shall comply with 'h' below (minimum 20' to highest eave)

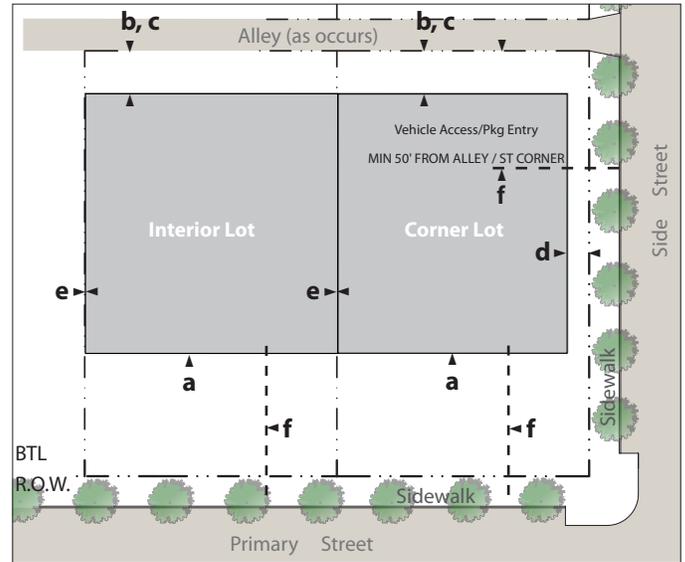
STANDARDS			
	CONFIGURATION	MIN.	MAX.
<b>h</b>	Building Height in Stories	1	2.5 <sup>6</sup>
<b>h</b>	Building Height in feet to highest eave	20' <sup>6</sup>	28' <sup>6</sup>
<b>i</b>	Ground Floor Level: non-residential <sup>5</sup>	0'	4'
	Ground Floor Level: residential <sup>5</sup>	2'	6'
<b>j</b>	Ground Floor Height <sup>7</sup>	10' <sup>6</sup>	16' <sup>6</sup>
<b>k</b>	Upper Story Height	10'	none
<b>k1</b>	3rd floor volume(s) shall be within 2nd story roof		

<sup>3</sup> Where an alley provides vehicular access, minimum setback is 5'.  
<sup>4</sup> Individual volumes up to this size may abut provided that each volume is offset from the other by a minimum 5' plane-break and a minimum 8' height difference.  
<sup>5</sup> Architectural elements such as roofs, parapets, finials, are allowed up to 36', as approved by the City.  
<sup>6</sup> Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.  
<sup>7</sup> Minimum if not historic building.

**TABLE 5.2C.2 DEVELOPMENT STANDARDS: MONTEREY STREET**



- Property Line  Frontage Required (see 'C' for reqmts)
- BTL Build-To Layer  Encroachment Area (see 'C' for reqmts) **E, E1**
- Primary Frontage **P** Secondary Frontage **S**



- Property Line  Allowed Parking Area
- See standards below **a ▶**

**C. Frontages and Encroachments**

- Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
- Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review
- Building elements may encroach into setbacks as identified.
- Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
FRONTAGE LOCATION	MIN.
<b>P</b> Along Primary Street	60 <sup>8</sup>
<b>S</b> Along Side Street	40 <sup>8</sup>
<b>E</b> Allowed Frontages encroaching on Public R.O.W.	
Gallery 1-story	See Frontage standards in Section 5.0 for requirements
Shopfront	
<b>E</b> Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	See Frontage standards in Section 5.0 for requirements
Door Yard	
Walled Yard	
Stoop	
Porch	
Front Yard	
<b>E1</b> Encroachment along rear of lot	3' max.

<sup>8</sup> For corner sites, the frontage must begin at the street corner.

**D. Parking and Services**

- Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
- Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
- Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	MIN.	SCREENING, NOTES
PARKING LOCATION		TYPE OF REQD SCREENING
<b>a</b> Front Setback	50'	By the building
<b>b</b> Rear Setback to Alley	5'	By the building, or min. 2' tall wall or hedge when within 10 feet of side street
<b>c</b> Rear Setback no Alley	15'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>d</b> Side Street Setback	5'	Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
<b>e</b> Side Setback	0'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>f</b> Parking Entry		Corner lot: min. 50' from street corner  Interior lot: within 5' of either side when side street or alley are not present

## 2.30.40 RAILROAD CORRIDOR

### A. INTENT AND PURPOSE

The Railroad Corridor zone is applied to areas west of the railroad to provide area for expansion or to accommodate large format buildings that benefit the Downtown.

### B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE

Buildings are primarily block-form with some house-form buildings. Buildings are up to two stories, mixed and single use, and are near or at the sidewalk to spatially define the streetscape. Massing is toward the front of buildings to spatially define the wide streets and provide service area in the rear.

### C. STREETScape / PUBLIC REALM, OPEN SPACE

The streetscape is in support of high pedestrian activity and consists of a range of permanent shade property-frontages such as galleries as well as shopfronts with wide awnings and shade trees. Wide sidewalks accommodate appropriate outdoor dining while providing for comfortable strolling and easy view of retail merchandise.

### D. LAND USE ACTIVITY

The Railroad Corridor zone contains a vibrant range of land use activity such as: Agriculture, Industrial, Motor Vehicle Related, Retail, Restaurants, Entertainment, and Multi-family Residential.

### E. PARKING

Minimum required on-site parking for each use is stated in Table 5.2D.1, however applicants are encouraged to utilize shared parking for non-residential uses in accordance with Section 9.20.20. Residential parking is provided on the site of its building.



*Interim or long-term uses include agriculture for practical and aesthetic purposes.*



*Shed buildings provide large and uninterrupted space for a variety of uses that complement the Downtown Core.*



*Shed buildings range in their design and execution in response to the functions within and outside of the building.*

**TABLE 5.2D.1 ALLOWED LAND USES AND REQUIRED PARKING: RAILROAD CORRIDOR**

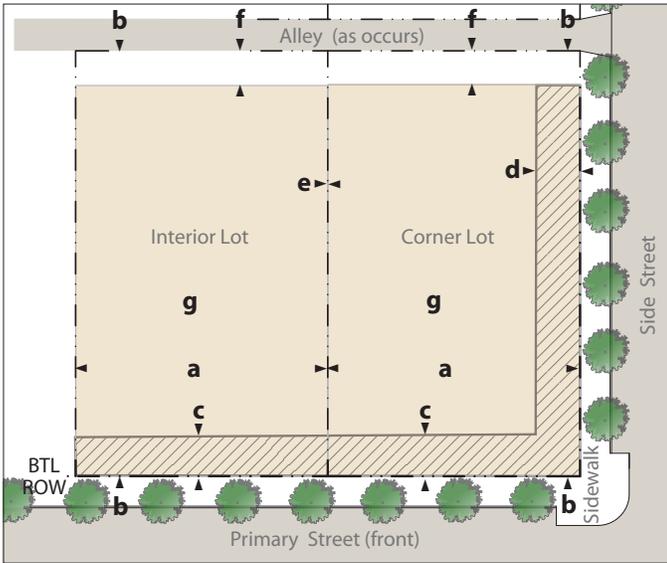
CATEGORY	USE	PERMIT	PARKING
ENTERTAINMENT AND RECREATION	Adult Entertainment	-	-
	Cinema	CUP	1/300
	Nightclub	CUP (1)	1/400
	Health / Fitness	P	1/300
	Indoor / Outdoor Recreation	CUP	1/300
	Live / Amplified Music, Internet Cafe	MUP (1)	1/300
	Meeting Facility	MUP (1)	1/300
	Performing Arts	MUP	1/300
RESTAURANT AND FOOD	Drive-Through	-	-
	Pub / Bar	CUP (1)	1/300
	Restaurant (may include alcohol sales)	MUP (1)	1/300
	Sidewalk Dining	MUP (1)	0
	Wine Tasting / Brew Pub	MUP (1)	1/300
RETAIL	Alcohol Sales (off-site consumption)	-	-
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/500
	Retail <10,000 sf	P	1/300
	Retail >10,000 sf	MUP	1/300
	Secondhand Stores	P (1)	1/300
SERVICES	Bail Bonds	MUP	1/300
	Bakery (wholesale)	P	1/400
	Care Facility for the Elderly	-	-
	Day Care: Adult Day	-	-
	Day Care: Small House	-	-
	Day Care: Large House	-	-
	Day Care Center: Child	MUP	1/4
	Drive-Through		
	Emergency Shelter	P	1/4
	Funeral Home	P	1/300
	Hotel / Motel	MUP	1/room
	Inn (B&B)	-	-
	Laundromat / Dry Cleaning	MUP	1/400
	Medical Services	P	1/400
	Personal Services	P	1/400
	Personal Services, restricted	CUP (1)	1/400
	Printing / Photocopying	P	1/400
	Repair (non-vehicular)	P	1/400
	School, private	P	1/400
	Veterinary Clinic / Animal Boarding & Day Care	P	1/400

CATEGORY	USE	PERMIT	PARKING
OFFICE AND CIVIC	Office or Civic, General	P	1/400
	Government	P	1/400
	Transit Station	MUP	50
RESIDENTIAL	Ground Floor	P	2 / unit
	Group home, less than 7 clients	-	-
	Group home, more than 7 clients	-	-
	Single-Family	-	-
	Multi-Family	P	2 / unit
	Mobile Home Park	-	-
	Single-Room Occupancy	-	-
	Upper Floors	MUP	2/unit
INDUSTRIAL	Agriculture	P	5
	Manufacturing (perishable)	P	1/400
	Manufacturing (non-perishable)	P	1/400
	Power / Electrical Substation	-	-
	Reverse Vending Machine	P	0
	Small Collection Facility	P	0
MOTOR VEHICLE RELATED	Car Wash	MUP	1/400
	Gas Station (non-commercial vehicles)	MUP	10
	Gas Station (commercial vehicles)	CUP	5
	Repair (motor vehicles)	MUP	1/2 bays
	Motor Vehicle Sales, new and used	MUP	1/300
	Motor Vehicle Rentals	P	10
COMMUNICATIONS	Communications Tower / Facility	CUP (1)	0
	Broadcasting / Recording Studio	MUP	1/400
OTHER	Temporary Use	MUP (1)	0
	Park, Plaza, Community Garden	MUP	0

**Key to Table 5.2D.1**

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
-	Use not allowed
(1)	See also Section 3.0 Standards for Specific Uses

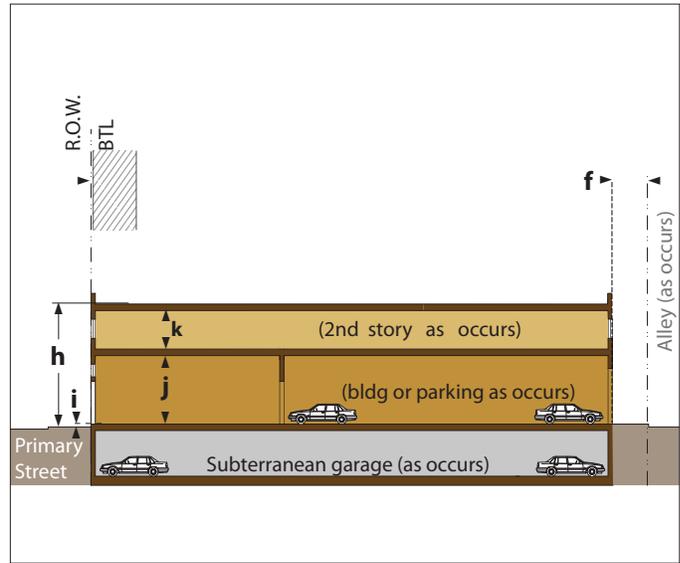
**RAILROAD CORRIDOR: TABLE 5.2D.2 DEVELOPMENT STANDARDS**



Property Line Buildable Area Ground Floor

BTL Build-To Layer Buildable Area Upper Floors

See standards below **a ▶**



Property Line Ground Floor (see standards below)

BTL Build-To Layer Upper Floors (see standards below)

See standards below **a ▶**

**A. Building Placement and Type**

1. Buildings shall be located on a lot, within the building site per above diagram<sup>a</sup>
2. Building facades along streets shall be located within the build-to-layer per the above diagram.
3. Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.

STANDARDS		
REQUIREMENT	MIN.	MAX.
<b>a</b> Building Site Width (shall comply w/ bldg type rqmts)	50'	400'
<b>b</b> Building Site Depth (shall comply w/ bldg type rqmts)	50'	n.a.
<b>c</b> Front Setback <sup>1</sup>	0'	10'
<b>d</b> Side Street Setback <sup>1</sup>	0'	10'
<b>e</b> Side Setback <sup>2</sup>	0'	n.a.
<b>f</b> Rear Setback <sup>3</sup>	10'	n.a.
<b>g</b> Building Dimensions <sup>4</sup>	none	150'

<sup>a</sup> One lot may have several building sites, min. and max. standards apply to building site.

<sup>1</sup> In compliance with the selected frontage type.

<sup>2</sup> Fire Code - building protection per local fire/safety code.

<sup>3</sup> Where an alley provides vehicular access, minimum setback is 5'.

<sup>4</sup> Individual volumes up to this size may abut provided that each volume is offset from the other by a minimum 5' plane-break and a minimum 8' height difference.

**B. Building Configuration**

1. Buildings shall comply with the standards below, measured in stories and feet.
2. Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.
3. Single story buildings shall comply with 'h' below (minimum 20' to highest eave)

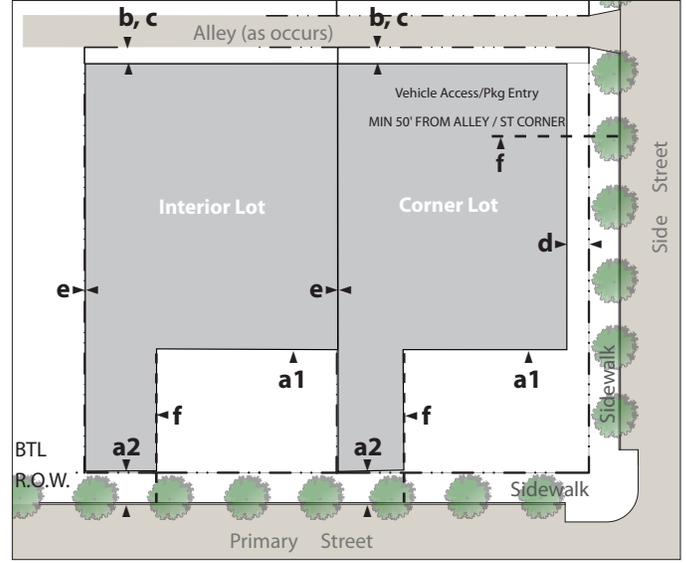
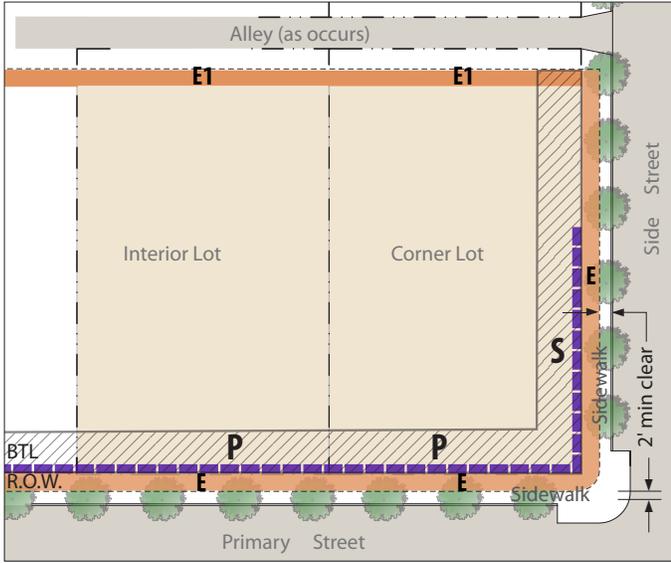
STANDARDS		
CONFIGURATION	MIN.	MAX.
<b>h</b> Building Height in Stories	1	2 <sup>5</sup>
<b>h</b> Building Height in feet to highest eave	20' <sup>5</sup>	28' <sup>5</sup>
<b>i</b> Ground Floor Level: non-residential <sup>6</sup>	0'	4'
Ground Floor Level: residential <sup>6</sup>	2'	6'
<b>j</b> Ground Floor Height <sup>7</sup>	12' <sup>5</sup>	none
<b>k</b> Upper Story Height	10'	none

<sup>5</sup> Architectural elements such as roofs, parapets, finials, are allowed up to 40', as approved by the City.

<sup>6</sup> Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.

<sup>7</sup> Minimum if not historic building.

**TABLE 5.2D.2 DEVELOPMENT STANDARDS: RAILROAD CORRIDOR**



- Property Line    - - - - -    Frontage Required (see 'C' for reqmts)
- BTL Build-To Layer
- Primary Frontage    **P**    Encroachment Area (see 'C' for reqmts)    **E, E1**
- Secondary Frontage    **S**

- Property Line    - - - - -    Allowed Parking Area
- See standards below    **a ▶**

**C. Frontages and Encroachments**

1. Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
2. Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review
3. Building elements may encroach into setbacks as identified.
4. Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
FRONTAGE LOCATION	MIN.
<b>P</b> Along Primary Street	80 <sup>8</sup>
<b>S</b> Along Side Street	65 <sup>8</sup>
<b>E</b> Allowed Frontages encroaching on Public R.O.W.	
Gallery 1, 2 story	See Frontage standards in Section 5.0 for requirements
Shopfront	
<b>E</b> Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	See Frontage standards in Section 5.0 for requirements
Parking Court	
<b>E1</b> Encroachment along rear of lot	5' max.

<sup>8</sup> For corner sites, the frontage must begin at the street corner.

**D. Parking and Services**

1. Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
2. Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
3. Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	MIN.	SCREENING, NOTES
PARKING LOCATION		TYPE OF REQD SCREENING
<b>a1</b> Front Setback for up to 80% of lot frontage	50'	By the building or min 2' tall wall or hedge as allowed per parking court frontage
<b>a2</b> Front Setback for up to 20% of lot frontage	5'	
<b>b</b> Rear Setback to Alley	5'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>c</b> Rear Setback no Alley	10'	Min. 5' tall wall or fence <sup>s</sup>
<b>d</b> Side Street Setback	5'	Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
<b>e</b> Side Setback	0'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>f</b> Parking Entry		Corner lot: min. 50' from street corner Interior lot: within 5' of either side when side street or alley are not present

**2.30.50 GATEWAY**

**A. INTENT AND PURPOSE**

The Gateway zone is applied to areas near and surrounding the Front Street exit off U.S. Highway 101 to provide convenient highway-related retail and services.

**B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE**

Buildings are primarily block-form with some house-form buildings for transitioning to adjacent areas. Buildings are primarily single-story with some buildings up to two stories, mixed and single use. Buildings are sited with some of their frontage setback from or near the sidewalk to spatially define the streetscape and the remaining frontage adjacent to parking. Massing is toward the front of buildings to provide service area in the rear and to promote compatibility with neighboring properties.

**C. STREETScape / PUBLIC REALM, OPEN SPACE**

The streetscape is in support of pedestrian activity and consists of a range of permanent shade property-frontages such as galleries as well as shopfronts with wide awnings and shade trees. Where house-form buildings are allowed, front yard frontages and other less intense frontages are allowed. Wide sidewalks accommodate appropriate outdoor dining while providing for comfortable strolling and easy view of retail merchandise.

**D. LAND USE ACTIVITY**

The Gateway zone contains a vibrant range of highway-oriented land use activities such as: Retail, Restaurants, Grocery, Bakery / Deli, Office, Personal Services, Lodging, Residential. Also included is an existing mobile home park.

**E. PARKING**

Minimum required on-site parking for each use is stated in Table 5.2E.1, however applicants are encouraged to utilize shared parking for non-residential uses in accordance with Section 9.20.20. Residential parking is provided on the site of its building.



Single to two-story retail, office, restaurant activity with portions of buildings near or at the sidewalk to shape the streetscape.



Highway-oriented retail is in buildings with part of their frontage at or near the sidewalk and the other portion fronting parking. Pedestrian access is enhanced by clear delineation of streetscapes that define the building's frontages on the street and parking.



**TABLE 5.2E.1 ALLOWED LAND USES AND REQUIRED PARKING: GATEWAY**

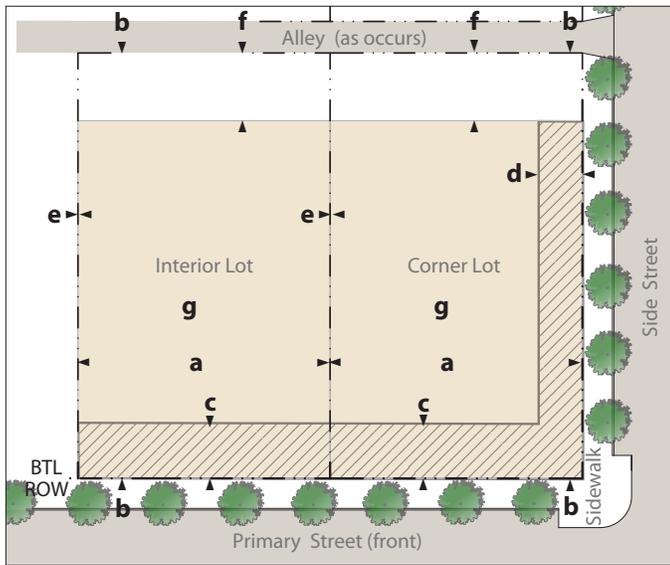
CATEGORY	USE	PERMIT	PARKING
ENTERTAINMENT AND RECREATION	Adult Entertainment	-	-
	Cinema	CUP	1/300
	Nightclub	CUP (1)	1/300
	Health / Fitness	MUP	1/300
	Indoor / Outdoor Recreation	MUP	400
	Live / Amplified Music, Internet Cafe	MUP (1)	1/300
	Meeting Facility	MUP (1)	1/300
	Performing Arts	MUP	1/300
RESTAURANT AND FOOD	Drive-Through	MUP (1)	1/300
	Pub/Bar	MUP	1/300
	Restaurant (may include alcohol sales)	MUP (1)	1/300
	Sidewalk Dining	MUP (1)	0
	Wine Tasting / Brew Pub	-	-
RETAIL	Alcohol Sales (off-site consumption)	CUP (1)	0
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/400
	Retail <10,000 sf	P	1/300
	Retail >10,000 sf	MUP	1/300
	Secondhand Stores	-	-
	SERVICES	Bail Bonds	P
Bakery (wholesale)		MUP	1/400
Care Facility for the Elderly		-	-
Day Care: Adult Day		-	-
Day Care: Small House		-	-
Day Care: Large House		-	-
Day Care Center: Child		-	-
Drive-Through		MUP (1)	1/300
Emergency Shelter		-	-
Funeral Home		P	1/300
Hotel / Motel		MUP	1/room
Inn (B&B)		MUP	1/room
Laundromat / Dry Cleaning		MUP	1/400
Medical Services		P	1/400
Personal Services		P	1/400
Personal Services, Restricted		CUP (1)	1/400
Printing / Photocopying		P	1/400
Repair (non-vehicular)		P	1/400
School, private		P	1/300
Veterinary Clinic / Animal Boarding & Day Care		P	1/400

CATEGORY	USE	PERMIT	PARKING
OFFICE AND CIVIC	Office or Civic, General	P	1/300
	Government	P	1/300
	Transit Station	MUP	50
RESIDENTIAL	Ground Floor	MUP	2 / unit
	Group home, less than 7 clients	-	-
	Group home, more than 7 clients	-	-
	Single-Family	-	-
	Multi-Family	MUP	2 / unit
	Mobile Home Park	CUP	1 / unit
	Single-Room Occupancy	-	-
INDUSTRIAL	Upper Floors	P	2 / unit
	Agriculture	-	-
	Manufacturing (perishable)	-	-
	Manufacturing (non-perishable)	MUP (2)	1/400
	Power / Electrical Substation	-	-
	Reverse Vending Machine	P	0
MOTOR VEHICLE RELATED	Small Collection Facility	P	0
	Car Wash	MUP	5
	Gas Station (non-commercial vehicles)	MUP	5
	Gas Station (commercial vehicles)	CUP	5
	Repair (motor vehicles)	MUP	1/2 bays
	Motor Vehicle Sales, new and used	MUP	1/300
	Motor Vehicle Rentals	P	10
COMMUNICATIONS	Communications Tower / Facility	CUP (1)	0
	Broadcasting / Recording Studio	MUP	1/400
OTHER	Temporary Use	MUP (1)	0
	Parks, Plaza, Community Garden	MUP	0

**Key to Table 5.2E.1**

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
-	Use not allowed
(1)	See also Section 3.0 Standards for Specific Uses

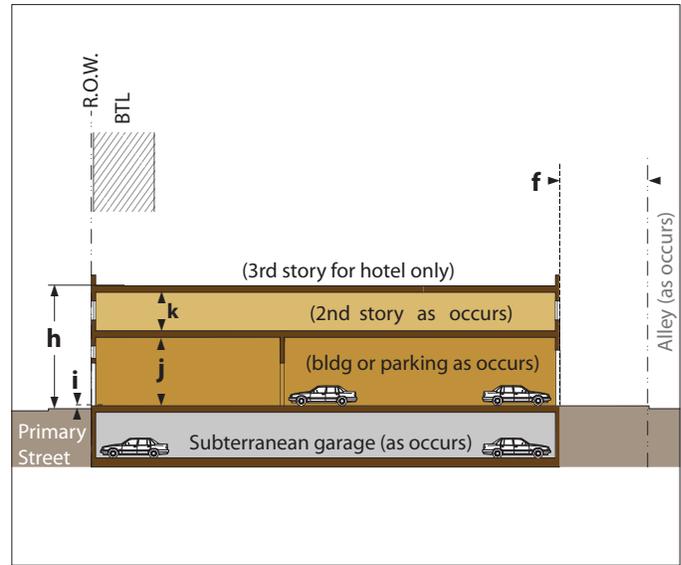
**GATEWAY: TABLE 5.2E.2 DEVELOPMENT STANDARDS**



Property Line Buildable Area Ground Floor

BTL Build-To Layer Buildable Area Upper Floors

See standards below **a ▶**



Property Line Ground Floor (see standards below)

BTL Build-To Layer Upper Floors (see standards below)

See standards below **a ▶**

**A. Building Placement and Type**

- Buildings shall be located within the building site per above diagram<sup>a</sup>
- Building facades along streets shall be located within the build-to-layer per the above diagram.
- Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.

Standards			
	Requirement	Min.	Max.
<b>a</b>	Building Site Width (shall comply w/ bldg type rqmts)	50'	300'
<b>b</b>	Building Site Depth (shall comply w/ bldg type rqmts)	50'	n.a.
<b>c</b>	Front Setback <sup>1</sup>	0'	15'
<b>d</b>	Side Street Setback <sup>1</sup>	0'	10'
<b>e</b>	Side Setback <sup>2</sup>	0'	n.a.
<b>f</b>	Rear Setback <sup>3</sup>	25'	n.a.
<b>g</b>	Building Dimensions <sup>4</sup>	none	100'

<sup>a</sup> One lot may have several building sites, min. and max. standards apply to building site.

<sup>1</sup> In compliance with the selected frontage type;

<sup>2</sup> When fill slope exists, measure from top of slope with max. distance between top of slope and R.O.W is 20', with vertical max. above sidewalk 5' and vertical max. below sidewalk 1'

<sup>3</sup> Fire Code - building protection per local fire/safety code.

<sup>4</sup> Where an alley provides vehicular access, minimum setback is 5'.

<sup>5</sup> Individual volumes up to this size may abut provided that each volume is offset from the other by a minimum 5' plane-break and a minimum 8' height difference.

**B. Building Configuration**

- Buildings shall comply with the standards below, measured in stories and feet.
- Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.
- Single story buildings shall comply with 'h' below (minimum 20' to highest eave)

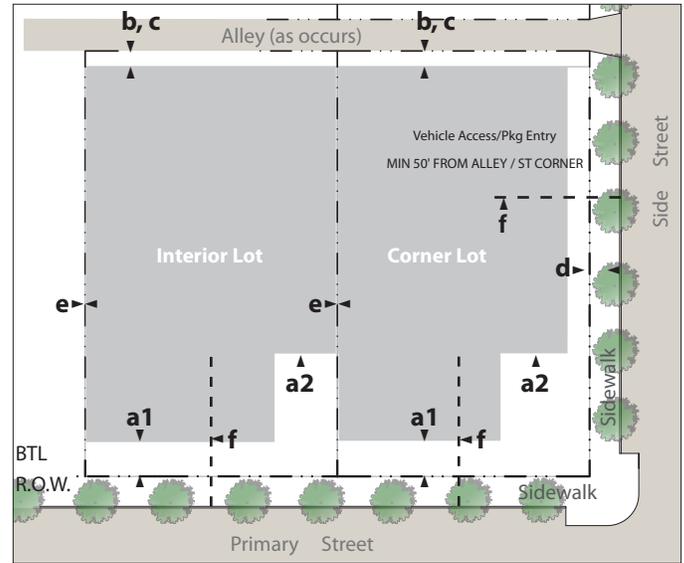
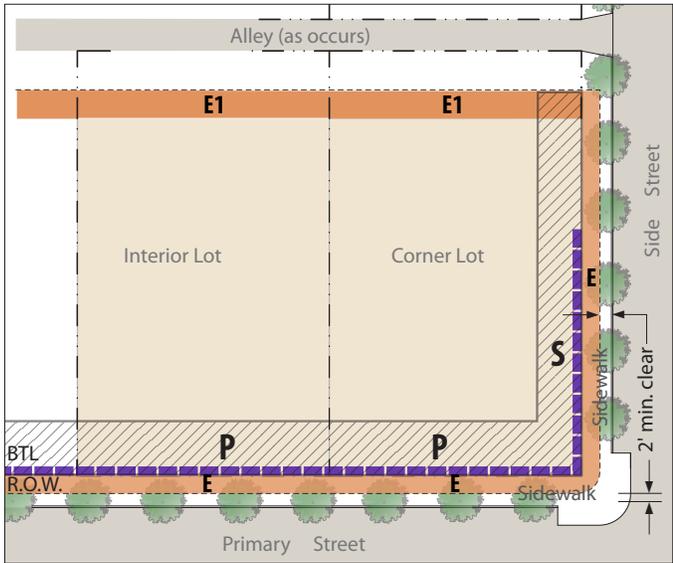
Standards			
	Configuration	Min.	Max.
<b>h</b>	Building Height in Stories (max. 3 for hotels only)	1	2 <sup>5</sup>
<b>h</b>	Building Height in Feet to highest eave (max. 40' for hotels only)	20 <sup>5</sup>	36 <sup>15</sup>
<b>i</b>	Ground Floor Level: non-residential <sup>6</sup>	0'	4'
	Ground Floor Level: residential <sup>6</sup>	2'	6'
<b>j</b>	Ground Floor Height <sup>7</sup>	12' <sup>8</sup>	none
<b>k</b>	Upper Story Height	10'	none

<sup>7</sup> Architectural elements such as roofs, parapets, finials, are allowed up to 50', as approved by the City.

<sup>8</sup> Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.

<sup>7</sup> Minimum if not historic building.

TABLE 5.2E.2 DEVELOPMENT STANDARDS: GATEWAY



- Property Line  Frontage Required (see 'C' for reqmts)
- BTL Build-To Layer  Encroachment Area (see 'C' for reqmts) **E, E1**
- Primary Frontage **P** Secondary Frontage **S**

- Property Line  Allowed Parking Area
- See standards below **a ▶**

**C. Frontages and Encroachments**

- Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
- Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review.
- Building elements may encroach into setbacks as identified.
- Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
FRONTAGE LOCATION	MIN.
<b>P</b> Along Primary Street	25 <sup>8</sup>
<b>S</b> Along Side Street	25 <sup>8</sup>
<b>E</b> Allowed Frontages encroaching on Public R.O.W.	
Gallery 1, 2-story	See Frontage standards in Section 5.0 for requirements
Shopfront	
<b>E</b> Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	See Frontage standards in Section 5.0 for requirements
Walled Yard	
Stoop	
Parking Court	
<b>E1</b> Encroachment along rear of lot	10' max.

<sup>9</sup> For corner sites, the frontage must begin at the street corner.

**D. Parking and Services**

- Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
- Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
- Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	MIN.	SCREENING, NOTES
<b>Parking Location</b>		<b>Type of Req'd Screening</b>
<b>a1</b> Front Setback for up to 75% of lot frontage	10'	By the building, or min. 2' tall wall or hedge as allowed by parking court frontage.
<b>a2</b> Front Setback for up to 25% of lot frontage	50'	
<b>b</b> Rear Setback to Alley	5'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>c</b> Rear Setback no Alley	10'	Min. 5' tall wall or fence
<b>d</b> Side Street Setback	5'	Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
<b>e</b> Side Setback	0'	None; except when adjacent to residential use, minimum 5' tall wall or fence
<b>f</b> Parking Entry		Corner lot: min. 50' from street corner  Interior lot: within 5' of either side when side street or alley are not present

